

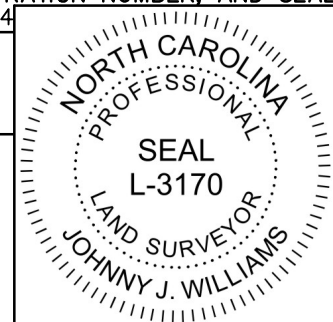
I, JOHNNY J. WILLIAMS, PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION COMPLETED ON 08/22/2024 FROM REFERENCES AS SHOWN HEREON; THAT BOUNDARIES NOT SURVEYED ARE NOTED AS SUCH AND PLOTTED FROM REFERENCES AS SHOWN HEREON.

THE GPS PORTION OF THIS SURVEY WAS PERFORMED AS FOLLOWS:  
 CLASS OF SURVEY - A; DATES OF SURVEY - 08/01/24-08/22/24;  
 POSITIONAL ACCURACY - 0.09'; TYPE OF GPS FIELD PROCEDURE - RTK; DATUM/EPOCH - NAD83(2011); PUBLISHED/FIXED CONTROL USE - N.C. VRS NETWORK; GEOID MODEL - 2018; UNITS - US SURVEY FEET; COMBINED GRID FACTOR - 0.99987127

THE CONVENTIONAL PORTION OF THIS SURVEY HAS A RATIO OF PRECISION IN EXCESS OF 1:10,000 AND IS ALSO PERFORMED TO A CLASS A SURVEY AS DEFINED BY TITLE 21, CHAPTER 56, SECTION .1603 OF THE N.C. ADMINISTRATIVE CODE; AND THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

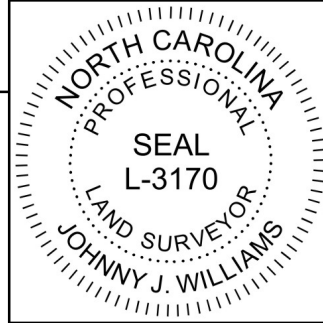
WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 23rd DAY OF AUGUST, 2024

JOHNNY J. WILLIAMS, P.L.S., L-3170  
 308A587C435A482  
 08/23/24 | 8:19 AM EDT



I, JOHNNY J. WILLIAMS, PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE DIVISION SHOWN HEREON IS GREATER THAN TEN ACRES WHICH IS OF ANOTHER CATEGORY SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF A SUBDIVISION. REF. NCGS 160D-802(a)(2)

08/23/2024  
 JOHNNY J. WILLIAMS, P.L.S., L-3170  
 308A587C435A482  
 08/23/24 | 8:19 AM EDT



I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE COUNTY OF DUPLIN AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT AND INSTALL AND CONSTRUCT ALL IMPROVEMENTS IN THIS SUBDIVISION IN COMPLIANCE WITH THE MINIMUM DESIGN REQUIREMENTS AS ESTABLISHED BY THE DUPLIN COUNTY UNIFIED DEVELOPMENT ORDINANCE. I ALSO ACCEPT RESPONSIBILITY FOR MAINTENANCE, OWNERSHIP, OR DEDICATION OF ANY EASEMENTS CREATED BY THIS PLAT UNLESS RESPONSIBILITY OF SUCH IS DEEDED TO A NEW PARTY.

08/23/24 | 5:37 PM EDT  
 LEWELLYN HOLLAND  
 3F2B3FDE0B16496...

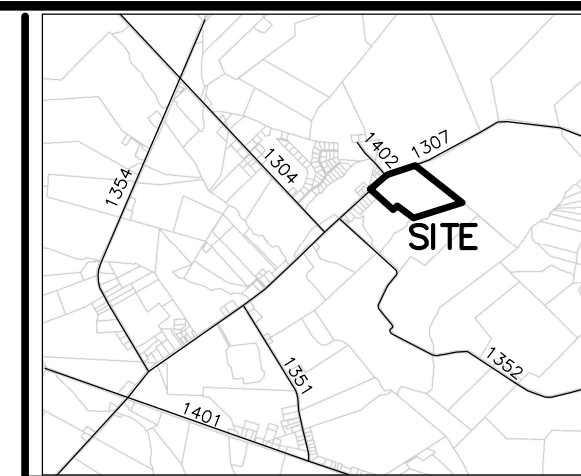
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO BE EXEMPT FROM THE DUPLIN COUNTY UNIFIED DEVELOPMENT ORDINANCE PER SECTION 609(B) AND IS HEREBY APPROVED FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF DUPLIN COUNTY.

UDO ADMINISTRATOR DATE

DUPLIN COUNTY NORTH CAROLINA

I, \_\_\_\_\_, ONE OF THE REVIEW OFFICERS FOR DUPLIN COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER DATE



VICINITY SKETCH  
 (NOT TO SCALE)

DUPLIN COUNTY NORTH CAROLINA  
 THIS MAP WAS FILED FOR REGISTRATION AT \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

REGISTERED IN MAP BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

REGISTER OF DEEDS

SWINSON FAMILY FARMS, LLC  
 TRACT ONE  
 DEED BOOK 2023, PAGE 400

VANCE C. ALPHIN, JR.  
 DEED BOOK 2016, PAGE 561  
 MAP BOOK 33, PAGE 463

JOHN B. AVENT  
 DEED BOOK 2023, PAGE 569  
 MAP BOOK 34, PAGE 56

N.C.S.R. 1402 60' R/W  
 FAISON CHAPEL CHURCH ROAD

N.C.S.R. 1307  
 VEACHS MILL ROAD  
 60' R/W

TRACT C  
 18.99 ACRES

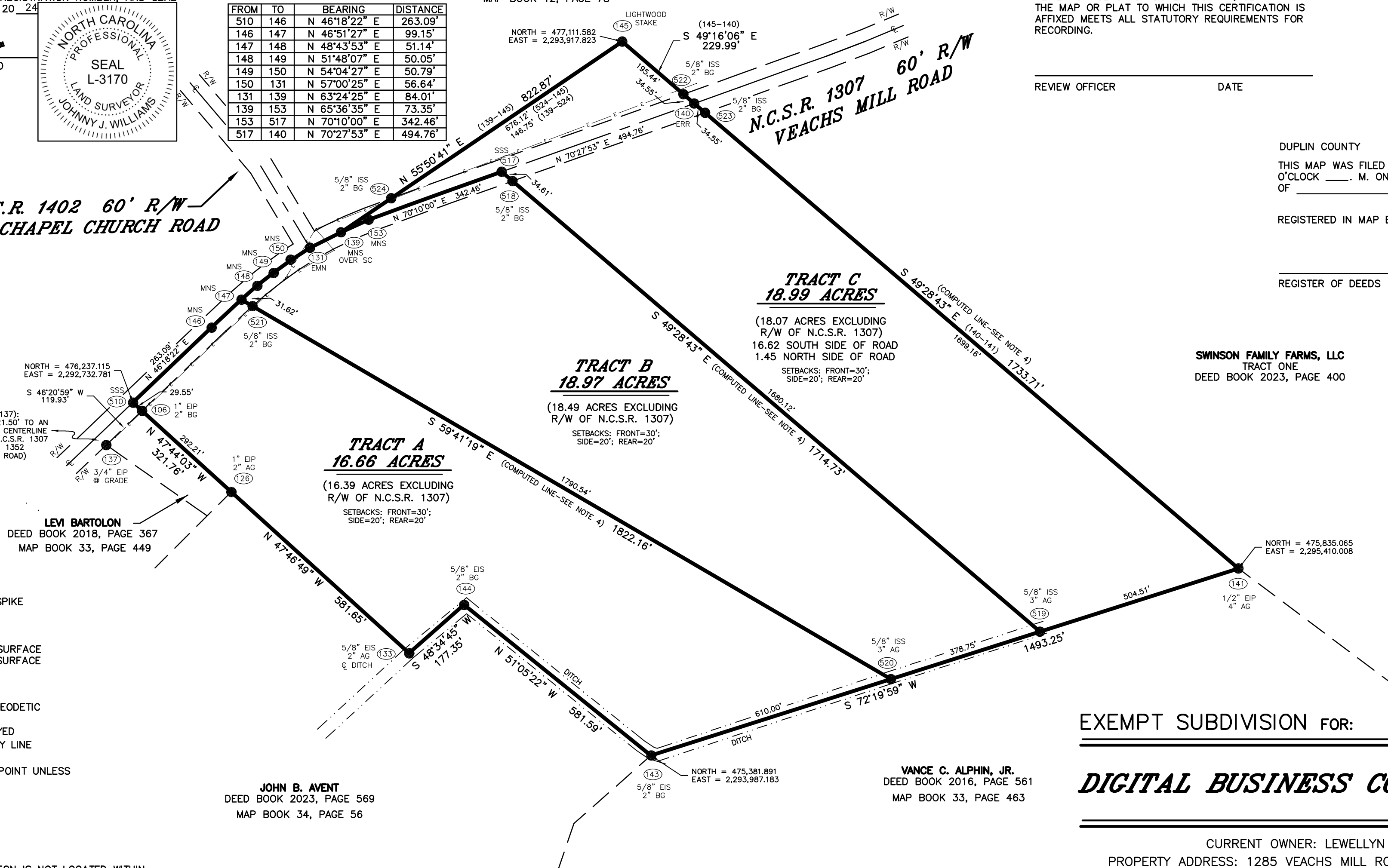
(18.07 ACRES EXCLUDING R/W OF N.C.S.R. 1307)  
 16.62 SOUTH SIDE OF ROAD  
 1.45 NORTH SIDE OF ROAD  
 SETBACKS: FRONT=30'; SIDE=20'; REAR=20'

TRACT B  
 18.97 ACRES

(18.49 ACRES EXCLUDING R/W OF N.C.S.R. 1307)  
 SETBACKS: FRONT=30'; SIDE=20'; REAR=20'

TRACT A  
 16.66 ACRES

(16.39 ACRES EXCLUDING R/W OF N.C.S.R. 1307)  
 SETBACKS: FRONT=30'; SIDE=20'; REAR=20'



CRUSADER FARM, LLC  
 TRACT TWO  
 DEED BOOK 1614, PAGE 526  
 MAP BOOK 12, PAGE 78

FROM	TO	BEARING	DISTANCE
510	146	N 46°18'22" E	263.09'
146	147	N 46°51'27" E	99.15'
147	148	N 48°43'53" E	51.14'
148	149	N 51°48'07" E	50.05'
149	150	N 54°04'27" E	50.79'
150	131	N 57°00'25" E	56.64'
131	139	N 63°24'25" E	84.01'
139	153	N 65°36'35" E	73.35'
153	517	N 70°10'00" E	342.46'
517	140	N 70°27'53" E	494.76'

N.C. GRID NORTH NAD 1983 (2011 ADJUSTMENT)

NORTH = 476,237.115  
 EAST = 2,292,732.781  
 S 46°20'59" W 119.93'  
 FROM EIP (137):  
 S 47°55'04" W 1121.50' TO AN  
 EMN (132) AT THE CENTERLINE  
 INTERSECTION OF N.C.S.R. 1307  
 WITH N.C.S.R. 1352  
 (DAN SWINSON ROAD)

LEVI BARTOLON  
 DEED BOOK 2018, PAGE 367  
 MAP BOOK 33, PAGE 449

LEGEND:

- EIP = EXISTING IRON PIPE
- EIS = EXISTING IRON STAKE
- ERR = EXISTING RAILROAD SPIKE
- EMN = EXISTING MAG NAIL
- MNS = MAG NAIL SET
- SSS = SURVEY SPIKE SET
- AG = TOP ABOVE GROUND SURFACE
- BG = TOP BELOW GROUND SURFACE
- R/W = RIGHT-OF-WAY
- ε = CENTERLINE
- ⊥ = PROPERTY LINE
- NCGS = NORTH CAROLINA GEODETIC SURVEY
- = LINE NOT SURVEYED
- - - - = OVERHEAD UTILITY LINE
- ⊙ = UTILITY POLE
- = NON-MONUMENTED POINT UNLESS OTHERWISE LABELED

NOTES:

- 1) THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP NO. 3720248600J DATED FEBRUARY 16, 2006.
- 2) ALL UTILITY LINES SHOWN HEREON MAY HAVE EASEMENTS AND RIGHTS OF ENTRANCE AND MAINTENANCE ASSOCIATED WITH THEM.
- 3) ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
- 4) ALL COMPUTED LINES SHOWN HEREON ARE TAKEN FROM AN ACTUAL FIELD LOCATION OF CORNERS AT EACH END OF THE LINE, HOWEVER THE LINE WAS NOT CUT AND INVESTIGATED FOR ENCROACHMENTS, DITCHES, PATHS, UTILITIES, ETC.
- 5) THERE ARE NO EXISTING DWELLINGS LOCATED WITHIN A NEW SETBACK LINE CREATED BY THIS SURVEY.

GRID TIES AND COORDINATES:

- EIP NO. 141 - NORTH = 475,835.065  
 EAST = 2,295,410.008
- SSS NO. 510 - NORTH = 476,237.115  
 EAST = 2,292,732.781

REFERENCES:

- TRACT TWO  
 DEED BOOK 1396, PAGE 171  
 TAX PARCEL NO. 02-1316

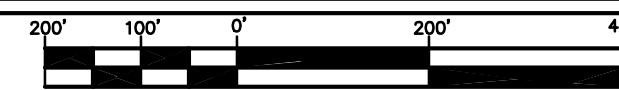
EXEMPT SUBDIVISION FOR:

**DIGITAL BUSINESS CORPORATION**

CURRENT OWNER: LEWELLYN HOLLAND  
 PROPERTY ADDRESS: 1285 VEACHS MILL ROAD, WARSAW, NC 28398

INDIVIDUAL TRACT ON N.C.S.R. 1307 (VEACHS MILL ROAD)  
 FAISON TOWNSHIP, DUPLIN COUNTY, N.C.

DATE: AUGUST 22, 2024  
 SCALE: 1" = 200'



JOHNNY J. WILLIAMS LAND SURVEYING, P.C.  
 P.O. BOX 778, BEULAVILLE, N.C. 28518  
 PHONE: 910-298-8272 FAX: 910-298-2310  
 EMAIL: JWILLIAMS@JWSURVEY.COM FIRM NO. C-2532