

# Commonwealth of Virginia

Application for:  Sewage System  Water Supply

VDH Use only	
Health Department ID#	_____
Due Date	_____

Owner Jonathan Dunham

Mailing Address P.O. Box 173  
Monterey, VA 24465

Agent Tim Abbott

Mailing Address 171 Rose Lane  
Hot Springs, VA 24445

Site Address Property behind 1228 Wimer Mountain  
Road, Blue Grass, VA

Phone \_\_\_\_\_

Phone 804-955-7618

Fax \_\_\_\_\_

Phone \_\_\_\_\_

Phone (540) 671-1521

Fax \_\_\_\_\_

Email springridgesoil@gmail.com

Directions to Property: from 250/220 intersection; take US-220N(6.4m); left onto SR642(2.5m); @ stop sign  
take VA-640 (Wimer Mt. Rd)(1.3m) gate just past 1228 Wimer Mt. Rd.

Subdivision \_\_\_\_\_ Section \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

Tax Map 10-A-41 Other Property Identification \_\_\_\_\_ Dimension/Acreage of Property 159.34 ac

### Sewage System

**Type of Approval:** Applicants for new construction are advised to apply for a certification letter to determine if land is suitable for a sewage system and to apply for a construction permit (valid for 18 months) **only when ready to build.**

Certification Letter  Construction Permit  Voluntary Upgrade  Repair Permit  Minor Modification

#### Proposed Use:

Single Family Home (Number of Bedrooms 3) Multi-Family Dwelling (Total Number of Bedrooms \_\_\_\_\_)

Other (describe) \_\_\_\_\_

Basement?  Yes  No Walk-out Basement?  Yes  No Fixtures in Basement  Yes  No

Conditional permit desired?  Yes  No If yes, which conditions do you want?

Reduced water flow  Limited Occupancy  Intermittent or seasonal use  Temporary use not to exceed 1 year

Do you wish to apply for a betterment loan eligibility letter?  Yes  No \*There is a \$50 fee for determination of eligibility.

### Water Supply

Will the water supply be  Public or  Private? Is the water supply  Existing or  Proposed?

If proposed, is this a replacement well?  Yes  No If yes, will the old well be abandoned?  Yes  No

Will any buildings within 50' of the proposed well be termite treated?  Yes  No

Well Type (e.g. domestic use, agricultural, irrigation, etc.) Class III C Well / Domestic Drinking Water Well

### All Applicants

Is this property intended to serve as your (owners) principal place of residence?  Yes  No

All applications must be accompanied by private sector evaluations and designs, unless a petition for VDH services is approved. Is a Petition for Service form attached?  Yes  No

In order for VDH to process your application for a sewage system you must attached a plat of the property and a site sketch. For water supplies, a plat of the property is recommended and a site sketch is required. The site sketch should show your property lines, actual and/or proposed buildings and the desired location of your well and/or sewage system. When the site evaluation is conducted the property lines, building location and the proposed well and sewage sites must be clearly marked and the property sufficiently visible to see the topography. I give permission to the Virginia Department of Health to enter onto the property described during normal business hours for the purpose of processing this application and to perform quality assurance checks of evaluations and designs certified by a private sector Onsite Soil Evaluator or Professional Engineer as necessary until the sewage disposal system and/or private water supply has been constructed and approved.

T. Abbott, DSE  
Signature of Owner/ Agent

12/12/2022  
Date

## Certification Statement

County: Highland

Date: 12/12/2022

Property Identification: Wimer Mountain Road, Blue Grass, VA Tax Map #:10-A-41

Submitted by: Timothy Abbott, OSE License # 1940001455

*I hereby certify that the evaluation and/or designs contained herein were conducted in accordance with the Sewage Handling & Disposal Regulations (12VAC5-610), the Private Well Regulations (12VAC5-630) and all other applicable laws, regulations, & policies implemented by the Virginia Department of Health. I further certify that I possess any professional license required by the laws and regulations of the Commonwealth that have duly issued by applicable agency charge with licensure to perform the work contained herein.*

I recommend Approval for a: Construction Permit



Timothy Abbott, OSE  
License # 1940001456

12/12/2022

Date

**Addendum to AOSE/PE Certification Statement  
For Private Well Construction Permit**

Instructions: Please check one box in 1-3 below. Statement templates for item #2 and #3 are on the following pages.

The proposed well site shown herein,

1. Is located a minimum of 50 feet from all property lines.
2. Is located within 50 feet of the adjacent property line(s) but I have determined that the adjacent property is not used for an agricultural operation.
- i. Written affirmation from the adjacent property owner(s) that their property is not used for an agricultural operation.
- ii. Other confirmation that land use is not an agricultural operation, please describe:
3. Is located within 50 feet of an adjacent property line where the property is used for an agricultural operation. For confirmation, I have attached the appropriate documentation pursuant to § 32.1-176.5:2 of the *Code of Virginia*. (check one below)
- i. Written permission from the adjacent property owner(s) for the well construction.
- ii. I certify that no other site on the property complies with the Board's Regulations for the construction of a private well.

**Well Specifications**

<b>VDH Use Only</b>
HDIN: _____

<b>Applicant Information</b>	
Name: <u>Jonathan Dunham</u>	Address: <u>P.O. Box 173</u>
Phone: <u>804-955-7618</u>	<u>Monterey, VA 24465</u>
<b>Location Information</b>	
Tax Map/GPIN #: <u>10-A-41</u>	Property Address: <u>Property behind 1228 Wimer Mountain Road, Blue Grass, VA</u>
Subdivision: _____	Section: _____ Block: _____ Lot: _____
Directions: <u>from 250/220 intersection; take US-220N(6.4m); left onto SR642(2.5m); @ stop sign take VA-640 (Wimer Mt. Rd)(1.3m) gate just past 1228 Wimer Mt. Rd.</u>	
<b>General Information</b>	
Well Purpose (select all that apply): <input checked="" type="checkbox"/> Domestic Drinking Water <input type="checkbox"/> Agricultural	
<input type="checkbox"/> Irrigation <input type="checkbox"/> Industrial/Commercial <input type="checkbox"/> Geothermal	
Well Class: <u>Class IIIC Domestic drinking Water Well</u>	Minimum Casing Depth: <u>20</u> ft.
Estimated Water Usage: <u>450 GPD</u>	Minimum Grout Depth: <u>20</u> ft.
<b>Horizontal Setbacks</b>	
Distance from Building Sewer: <u>75</u> ft.	Distance from Pretreatment Unit(s): <u>85</u> ft.
Distance from Conveyance System: <u>90</u> ft.	Distance from Absorption Area: <u>160</u> ft.
Distance from Property Line: <u>195</u> ft.	Distance from foundations: <u>50</u> ft.
Distance from other source(s) of contamination: _____ ft.	
List other source(s): _____	
Note: _____	
<u>general well area: 38.510559, -79.538475</u>	

**Site Evaluation / Construction Drawing:**

**SCALE 1" = 50"**

**Property ID: 10-A-41**

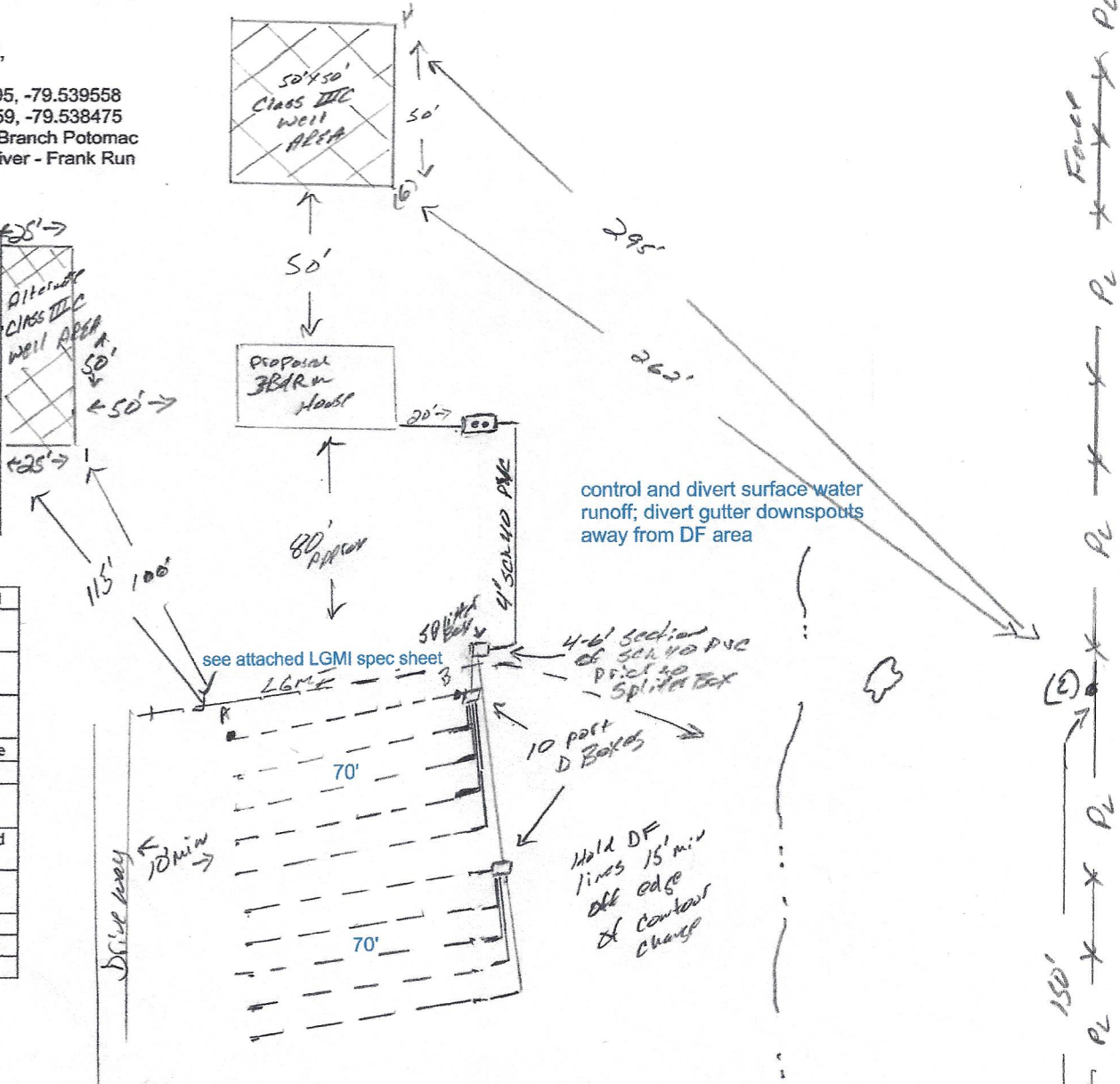
Jonathan Dunham  
 Wimer Mountain Rd,  
 Blue Grass, VA  
 DF Area: 38.5107995, -79.539558  
 Well Area: 38.510559, -79.538475  
 HUD: PU02 South Branch Potomac  
 River - Frank Run

**Distances:**

A	B/D	70'/170'
B	E/F	195'/245'
C	B	150'
C	E/F	245'/195'
E	G	262'
F	E	150'
G	H	50'
H	E	295'
I	A	100'
J	A	115'
I	J	25'

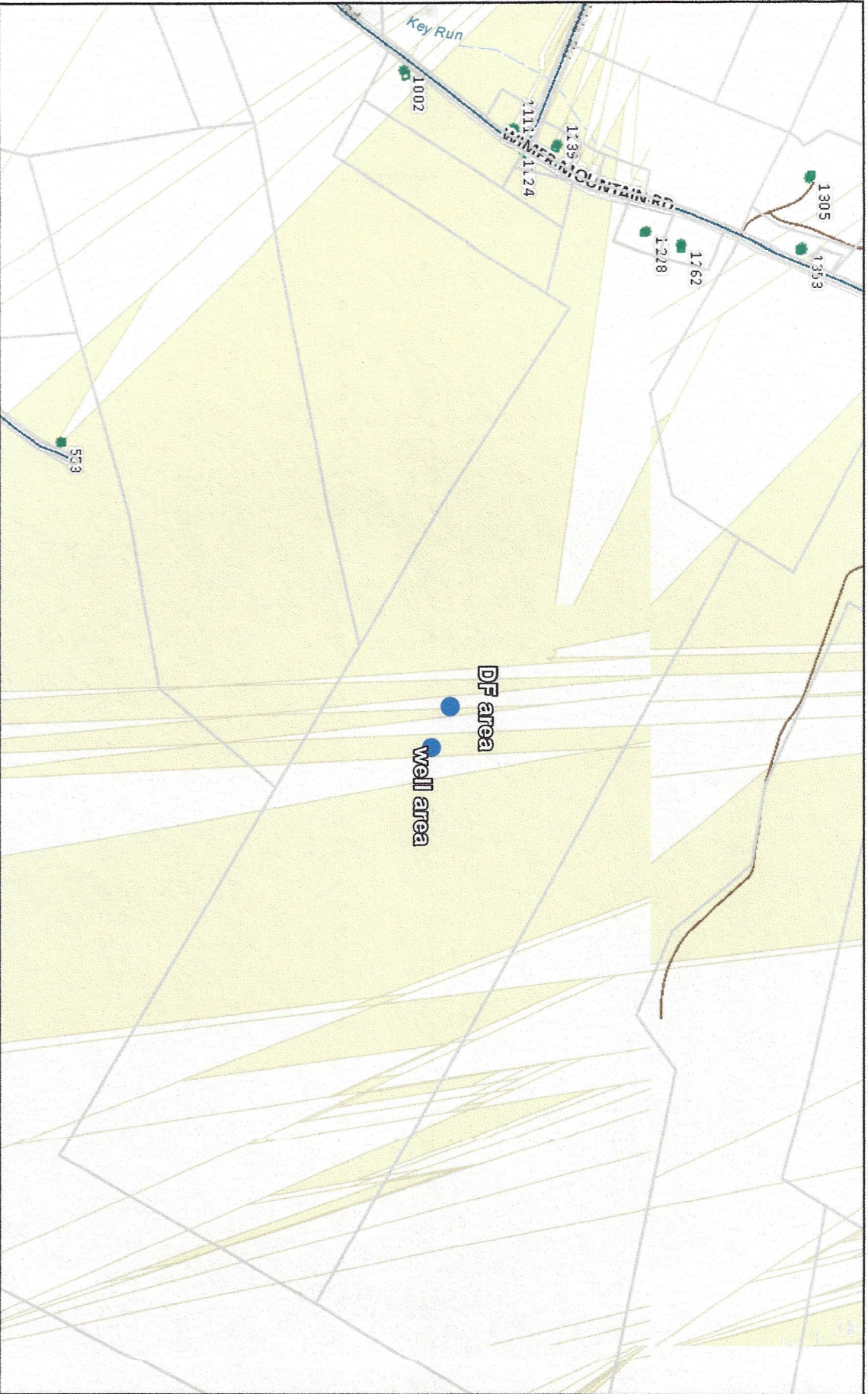
**LEGEND:**

EW	Existing Well
PW	Proposed Well
EB	Existing Building
PB	Proposed Building
PL	Property Line
X	Fence
OHP	Over-head Power
UGU	Underground Utilities
TP	Telephone Pole
ST	Septic Tank
Db	D-box
DF	Drain Field

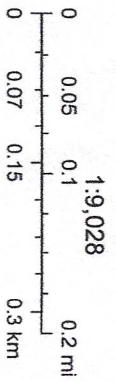


Install (10) 70' trenches, 3 ft. wide on contour, @ 21" deep; 10' centers; see attached system specifications and/or abbreviated design sheet if gravelless material is used.

Septic Tank & DF to be held a min. 10' off foundation / 20' off excavated basement; DF to be a min. 5 ft. off all property lines. Septic Tank to be a min. 50' from all existing/proposed wells; DF to be a min. of 100 ft. (unless specified), from all wells. Control all surface water runoff and divert gutters away from DF area. DF to be a min. 200' off developed springs/100' off undeveloped springs; \*\*\* All Onsite Septic System Installation and/or Well Drilling to be done by a VA DPOR Licensed Onsite Contractor and/or WWSP \*\*\* Contact Tim Abbott, OSE (540)671-1521 prior to construction to discuss any concerns on location and/or design of onsite system



December 12, 2022



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

**System Specifications**

<b>VDH Use Only</b>
HDIN: _____

<b>Application Information</b>	
Name: <u>Jonathan Dunham</u>	Address: <u>P.O. Box 173</u>
Phone: <u>804-955-7618</u>	<u>Monterey, VA 24465</u>
<b>Location Information</b>	
Tax Map/GPIN #: <u>10-A-41</u>	Property Address: <u>Wimer Mountain Rd.</u>
Subdivision: _____	Section: _____ Block: _____ Lot: _____
Directions: <u>from 250/220 intersection; take US-220N(6.4m); left onto SR642(2.5m); @ stop sign take VA-640 (Wimer Mt. Rd)(1.3m) gate just past 1228 Wimer Mt. Rd.</u>	
<b>General Information</b>	
Property Type (e.g. residential): <u>Residential</u>	Number of Bedrooms: <u>(3) three</u>
Daily Flow: <u>450</u> gpd	Conditions: _____
Notes: _____	
<b>Sewer Line</b>	
Diameter: <u>4</u> in. Material: <u>SCH40 PVC</u> (or equivalent) Notes: _____	
<b>Pretreatment Unit(s)</b>	
Treatment Level: <u>Primary effluent</u>	Septic Tank Capacity: <u>1000</u> gallons
Number of Septic Tanks <u>one</u>	Size of Septic Tank(s) <u>1000</u> gallons
Per the Sewage Handling and Disposal Regulations, check which option(s) chosen:	
<input checked="" type="checkbox"/> Septic tank with inspection port <input type="checkbox"/> Septic tank with effluent filter <input type="checkbox"/> Reduced maintenance septic tank	
Secondary treatment device(s), if applicable: _____	
Notes: _____	
<b>Conveyance Line</b>	<b>Distribution Method and Header Lines</b>
Conveyance Method: <u>Gravity</u> (6" per 100')	Distribution Method: <u>Distribution Box</u>
If pumping, include pump specifications sheet.	No. of boxes: <u>3</u> No. of outlets: <u>10</u>
Material: <u>SCH 40 PVC</u> Diameter: <u>4"</u>	Surge or splitter box required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Notes: <u>SCH40 PVC or #3000 crush min.</u>	Header Line Material: <u>SDR 35 or #1500 crush min.</u>
<b>Percolation Lines/Absorption Area</b>	
Dispersal Method (e.g. laterals, pad, mound): <u>Lateral Lines</u>	
If using pressure dispersal (e.g. drip), include pressure dispersal specifications sheet.	
No. of laterals/pads: <u>10</u>	Length of lateral(s)/pad(s): <u>70</u> ft. Width of lateral(s)/pad(s): <u>36</u> in.
Center to center spacing: <u>10</u> ft.	Installation depth: <u>21</u> in. Aggregate depth: <u>13</u> in.
Size/Type of Aggregate: <u>1/2" -1.5" gravels: 57's</u>	Lateral/pad slope: <u>2-4</u> in. per <u>100</u> ft.
Reserve Area Provided: <u>50</u> %	Notes: <u>see bottom of page for Gravelless Material</u>
<b>Please Note:</b> <u>Any questions on design or location of system, contact Tim Abbott, OSE prior to construction.</u>	
Work to be done by licensed sewage contractor.	

This form contains personal information subject to disclosure under the Freedom of Information Act.

Revised 12/1/2014

Gravelless material may be used, in lieu of gravel and pipe, within the approved absorption area in accordance with Table 5.4 of 12VAC5-610, If Gravelless material is used, the owner may install (8) 70' laterals, 3 ft wide on contour; 10 ft centers at an installation depth of 21 inches or the designed amount above. (one 12 port D-Box may be used)

Tim Abbott OSE, # 1940001455

Page \_\_\_ of \_\_\_

**Site Evaluation / Construction Drawing:**

**SCALE 1" = 50"**

**Property ID: 10-A-41**

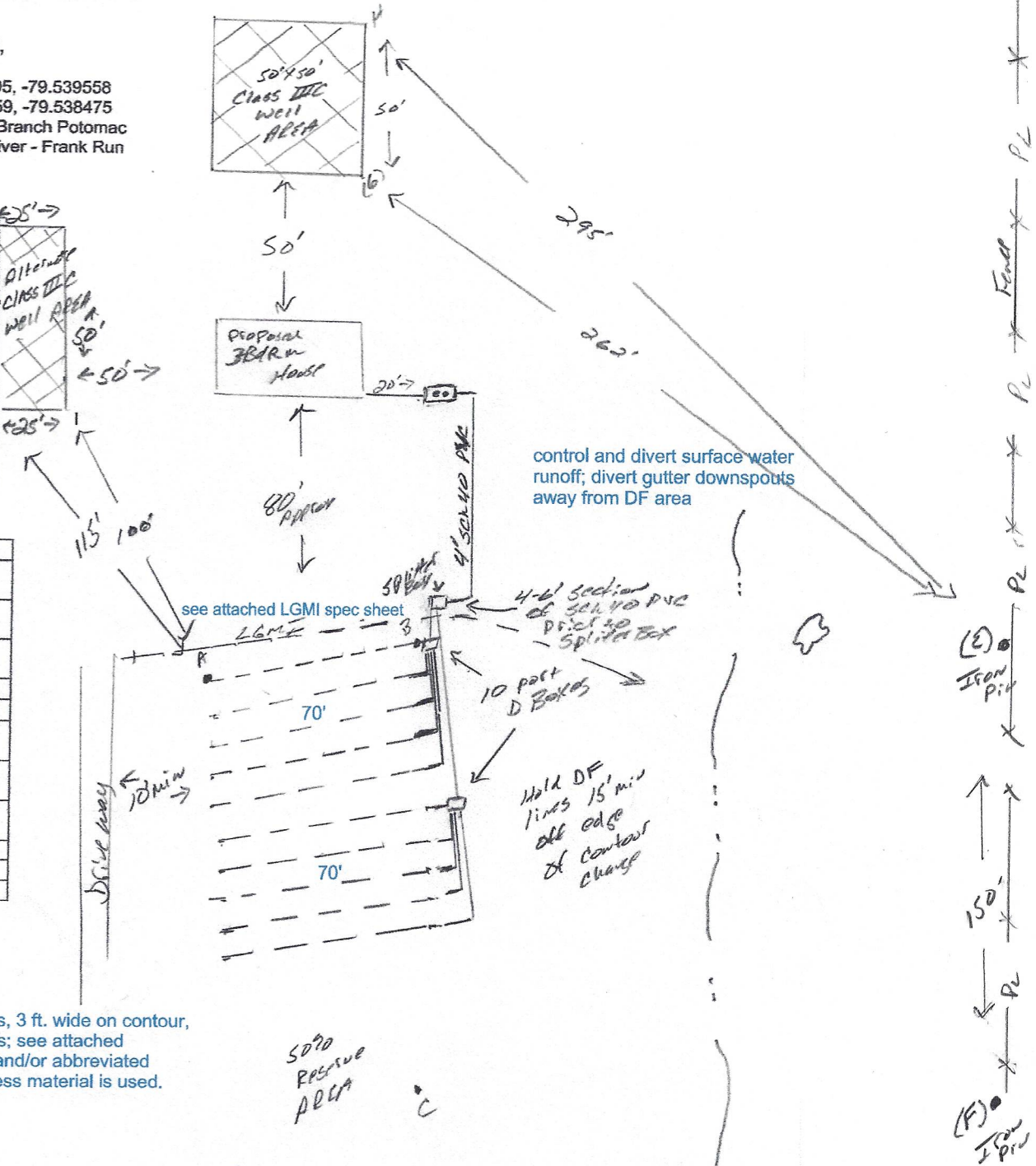
Jonathan Dunham  
 Wimer Mountain Rd,  
 Blue Grass, VA  
 DF Area: 38.5107995, -79.539558  
 Well Area: 38.510559, -79.538475  
 HUD: PU02 South Branch Potomac  
 River - Frank Run

**Distances:**

A	B/D	70'/170'
B	E/F	195'/245'
C	B	150'
C	E/F	245'/195'
E	G	262'
F	E	150'
G	H	50'
H	E	295'
I	A	100'
J	A	115'
I	J	25'

**LEGEND:**

EW	Existing Well
PW	Proposed Well
EB	Existing Building
PB	Proposed Building
PL	Property Line
X	Fence
OHP	Over-head Power
UGU	Underground Utilities
TP	Telephone Pole
ST	Septic Tank
Db	D-box
DF	Drain Field



Install (10) 70' trenches, 3 ft. wide on contour, @ 21" deep; 10' centers; see attached system specifications and/or abbreviated design sheet if gravelless material is used.

Septic Tank & DF to be held a min. 10' off foundation / 20' off excavated basement; DF to be a min. 5 ft. off all property lines. Septic Tank to be a min. 50' from all existing/proposed wells; DF to be a min. of 100 ft. (unless specified), from all wells. Control all surface water runoff and divert gutters away from DF area. DF to be a min. 200' off developed springs/100' off undeveloped springs; \*\*\* All Onsite Septic System installation and/or Well Drilling to be done by a VA DPOR Licensed Onsite Contractor and/or WWSP \*\*\* Contact Tim Abbott, OSE (540)671-1521 prior to construction to discuss any concerns on location and/or design of onsite system





### LGMI-FRENCH DRAIN SPECIFICATIONS

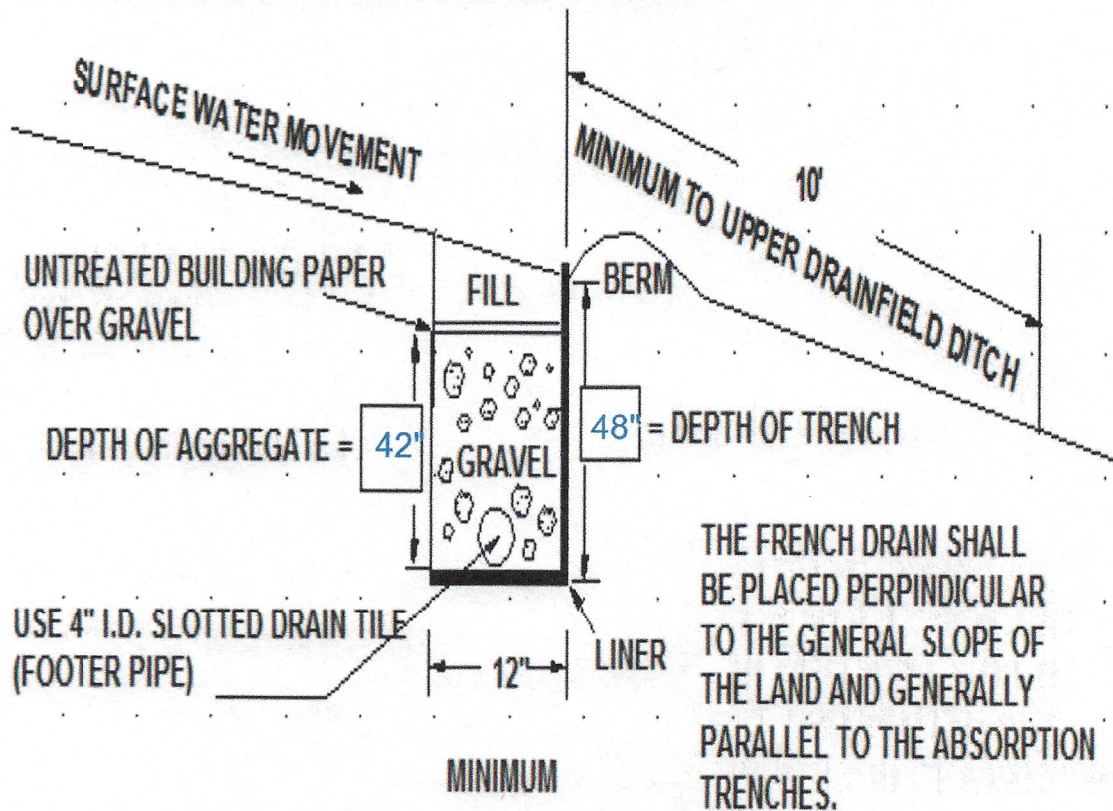
#### REQUIREMENTS:

A TIGHT DRAIN FROM THE FRENCH DRAIN SHALL BE CONSTRUCTED TO DISCHARGE BY GRAVITY INTO A NATURAL OR MANMADE DRAINWAY.

USE 1/2" TO 1 1/2" DRAINFIELD AGGREGATE/GRAVEL.

INSTALL .4 ML PLASTIC SHEETING ON BOTTOM AND DOWNHILL WALLS OF LATERAL GROUNDWATER MOVEMENT INTERCEPTOR (FRENCH DRAIN) TRENCH. IF A RESTRICTIVE LAYER IS ENCOUNTERED BED FRENCH DRAIN INTO RESTRICTION.

MINIMUM FALL ON THE FRENCH DRAIN PIPE IS 6" PER 100'



### Construction & Design Notes:

- Conventional treatment required. All construction & materials must conform to the applicable local & state **Sewage & Disposal Regulations** as well as the **Virginia Private Well Regulations**.
- All shallow systems should be hand cleared and stumps shall be ground. All site work shall be done in **DRY** weather and soil conditions. No vehicle traffic or livestock shall be allowed on the drainfield area. Call OSE/Designer with any questions.
- Contact OSE @ (540) 671-1521 if any questions on drainfield location or if stakes/flags are missing.
- **Top Seam tanks** recommended to prevent infiltration of groundwater into tanks. If Plastic tanks are used then must install riser and outlet tee filter (clean filter (2) times a year).
- Drainfield & Wells shall be installed by **licensed contractor with DPOR certification**. Installers are now required to provide license # on completion statement.
- Ensure that final grade provides positive drainage over and around the tank & drainfield area and is adequate to prevent any infiltration of surface water. Divert any storm water run-off from upslope away from the drainfield & tank area.
- Water Softener Systems back flush discharge **SHALL NOT** be connected to the drainfield.
- Drainfield & tank areas are to be seeded & covered with straw/mulch immediately after backfilling and final grading.
- Gutters & Foundation Drains shall be diverted away from the tank (s) and drainfield area.
- The Design is in accordance within regulations & policies of the **Virginia Department of Health**. No guarantee or warranty of operation is expressed or implied.
- This sewage system has been designed to serve a dwelling with a peak loading rate of 450 gallons per day **MAX** of **Residential strength waste** without the use of garbage disposals, etc. The use of additional water fixtures has not been accounted for in this design plans and if the owner/building contractor installs garbage disposals, ice makers, Jacuzzi tubs, etc. additional modifications may be required.
- Sewage disposal systems **WILL NOT** last indefinitely; however routine maintenance and pumping will prolong the life of the system. **PUMP EVERY 3-5 YEARS**.
- Maintain all plumbing fixtures within the dwelling in proper working order to prevent excess water (**Hydraulic Overloading**) from entering the sewage disposal system.
- No Chamber Systems, gravel trenches recommended due to stony soils

**ANY QUESTIONS CONTACT TIM ABBOTT, OSE (540) 671-1521**

# Site and Soil Evaluation Report

VDH Use Only
HDIN: _____

General Information	
Date: <u>11/21/2022</u>	<u>Highland</u> County Health Department
Owner: <u>Jonathan Dunham</u>	Phone: <u>804-955-7618</u>
Owner Address: <u>P.O. Box 173 Monterey, VA 24465</u>	
Property Address: <u>Property behind 1228 Wimer Mountain Road, Blue Grass, VA</u>	
Tax Map/GPIN #: <u>10-A-41</u>	
Subdivision: _____	Section: _____ Block: _____ Lot: _____

## Soil Information Summary

1. Position in landscape satisfactory:  Yes  No Describe landscape position: sideslope
2. Slope: 12-15%
3. Depth to rock/impervious strata: Max. \_\_\_\_\_ in. Min. \_\_\_\_\_ in.  Not observed
4. Free Water Present:  Yes  No Range in inches: \_\_\_\_\_
5. Depth to seasonal water table (gray mottling or gray color): \_\_\_\_\_ inches  Not observed
6. Soil percolation rate estimated:  Yes  No Estimated rate: 80 min/in at 21 inches depth  
Texture Group:  I  II  III  IV
7. Percolation test performed:  Yes  No If yes, provide additional data on percolation test results.

Name and title of evaluator: Timothy Abbott, OSE License # 1940001455

Signature: \_\_\_\_\_

Site approved: lateral absorption trenches (describe dispersal area, e.g. absorption trenches) dispersing primary (proposed level of treatment at time of evaluation) to be placed at 21 (inches) depth at site designated on permit. Site provides a total of 2100 square feet of absorption area for primary and reserve (if applicable).

Site disapproved: Reasons for rejection (check all that apply)

1.  Position in landscape subject to flooding or periodic saturation.
2.  Insufficient depth of suitable soil over hard rock.
3.  Insufficient depth of suitable soil to seasonal water table.
4.  Rates of absorption too slow.
5.  Insufficient area of acceptable soil for required absorption area, and/or reserve area.
6.  Proposed system too close to well.
7.  Other (specify) \_\_\_\_\_



Date of Evaluation: 11/21/2022 Profile Description  
**SOIL EVALUATION REPORT**  
 Property ID: 10-A-41

Where the local health department conducts the soil evaluation the location of profile holes may be shown on the schematic drawing on the construction permit or the sketch submitted with the application. If soil evaluations are conducted by a private Onsite Soil Evaluator or Professional Engineer, location of profile holes and sketch of the area investigated including all structural features (i.e. sewage disposal systems, wells, etc.) within 200 feet of the site and reserve site shall be shown on the reverse side of this page or prepared on a separate page and attached to this form.

See application sketch     See Construction Permit     See sketch on reverse side or page attached to this form.

Hole #	Horizon	Depth (Inches)	Description of color, texture, etc.	Texture Group
Pt3	A	0-5	10YR4/3 SiL; common fine roots	III
	Bt1	5-12	10YR 5/3 SiC; w/ common(10-20%) fine subangular sandstone channers (1-8"-1/4")	III
	Bt2	12-25	10Yr 5/4 channery light SiCL; w/ common (20-30%) fine subangular channers & rock fragments (1/8"-1/4"); w/ common (20-30%) subangular sandstone channers (4"-10")	III
	Bt3	25-48	7.5 YR 5/4 cherty CL; w/ common fine subangular channers (1/8"-1/4"); few larger subangular sandstone channers (10"-12); few subangular siltstone channers in bottom of pit (below 38") (2"-6" in size); moderate SAB structure	III
Pt4	A	0-4	10YR4/3 SiL; common fine roots	III
	Bt1	4-14	7.5YR 5/6 gravelly CL; w/ subangular sandstone gravels & channers (up to 2"); weak SAB structure	III
	Bt2	14-43"	7.5YR 6/8 heavier CL/ with common subangular shale channers (10-20%) and few (10%) subangular sandstone & siltstone cobbles (2"-4"); moderate-strong SAB structure	III

REMARKS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SCALE 1" = 50"

**Site Evaluation / Construction Drawing:**

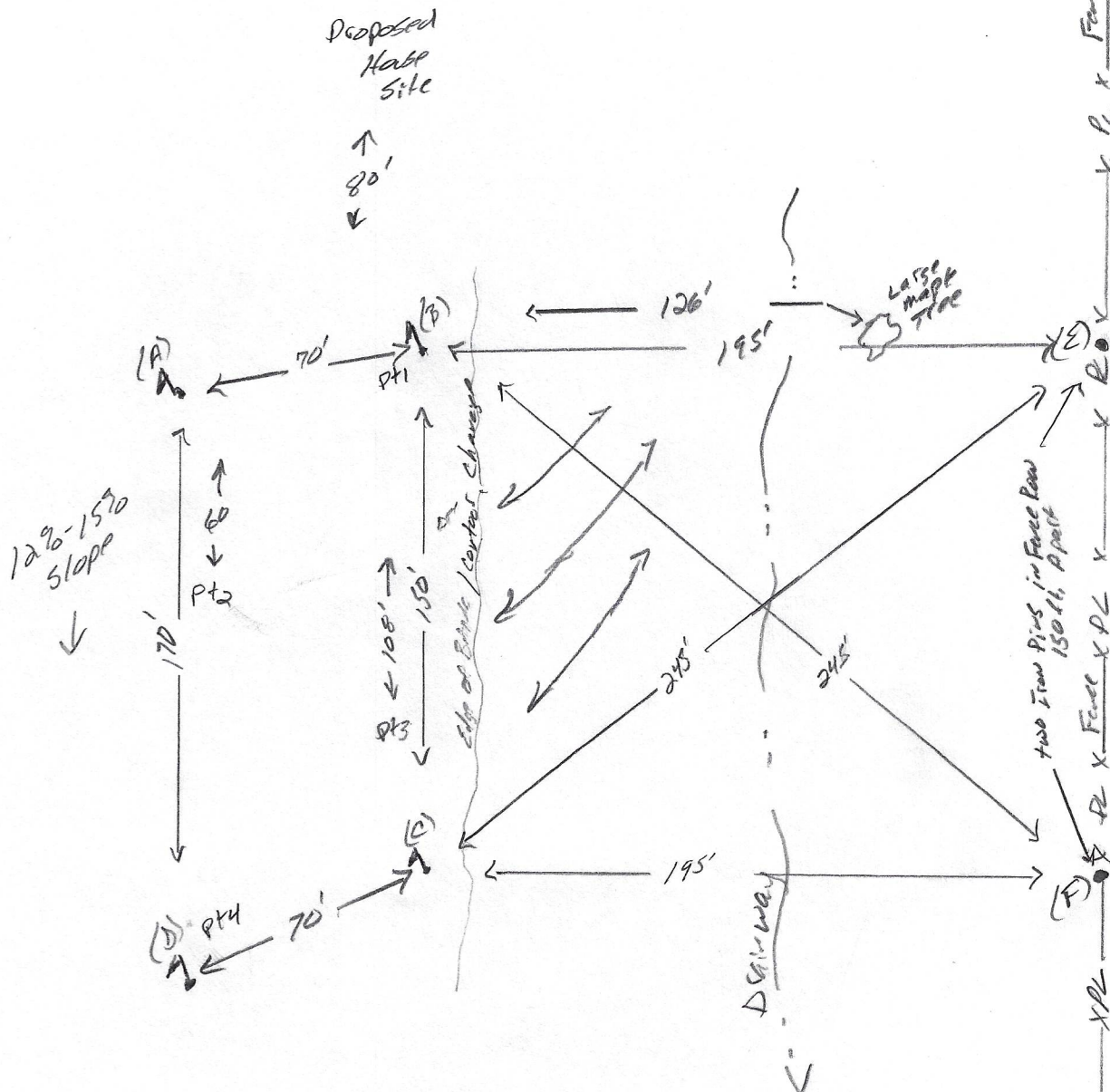
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 HUID: PU02 South Branch Potomac  
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**Distances:**

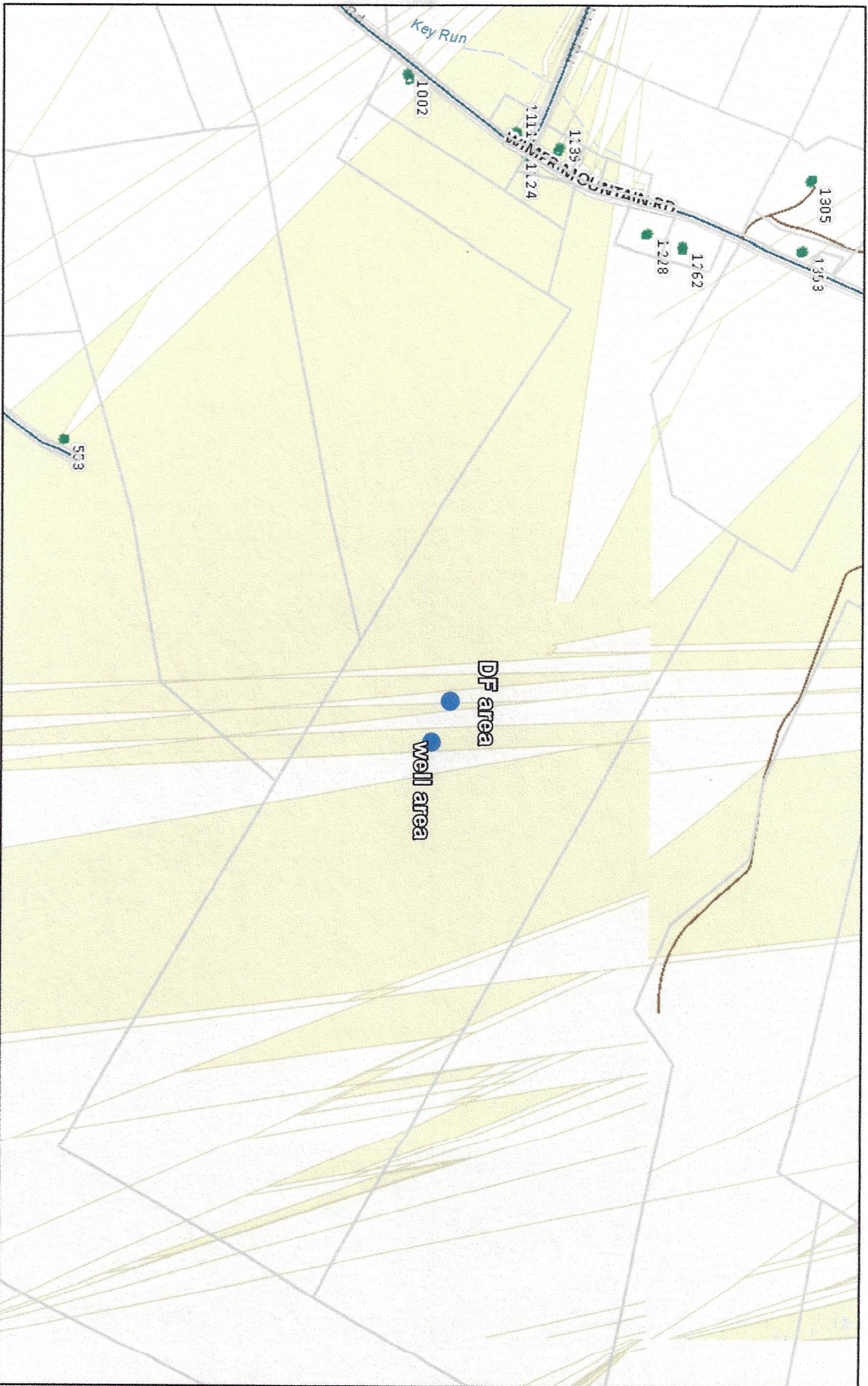
A	B	70'
B	E/F	195'/245'
C	E/F	245'/195'
D	A	170'
E		
F		
Pt1	B	2'
Pt2	A	60'
Pt3	B	108'
Pt4	D	2'
Pt5		

**LEGEND:**

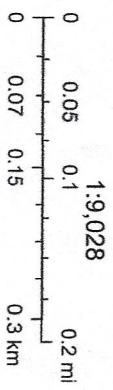
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December 12, 2022



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



**REQUEST FOR A WAIVER TO THE SURVEY REQUIREMENT**  
(TO BE COMPLETED BY THE OWNER)

Owner's Name Jonathan Dunham  
Owner's Address P.O. Box 173 Monterey, VA 24465  
Owner's Telephone Number 804-955-7618  
Property Location Wimer Mountain Road, Blue Grass, VA Health Department Identification Number \_\_\_\_\_

1. Yes  No  Is a complete site sketch provided with your application showing the property dimensions, all proposed and/or existing structures, driveways, underground and overhead utilities on the property, adjacent sewage disposal systems, bodies of water, drainage ways, agricultural drain tiles, wells, cisterns, and springs for a minimum of 200 feet radius of the proposed building and/or drain field?
2. Yes  No  Have you clearly marked the property boundaries?
3. Yes  No  Have you clearly marked the proposed building or buildings?
4. Yes  No  Are there any permanent structures within 200 feet of the proposed drain field?
5. Yes  No  Does your parcel of land consist of a single lot?
6. Yes  No  Is your parcel of land directly influenced by the off site location of any sewage disposal system, well and/or body of water?
7. Yes  No  Is your application for an onsite sewage disposal system construction permit to repair or replace a malfunctioning system serving a single family or duplex residential dwelling?
8. Yes  No  Is your application for an onsite sewage disposal system construction permit to expand an existing system serving a single family or duplex residential dwelling?
9. Yes  No  Is your proposed building and/or proposed drain field located within 200 feet of a property line?
10. Yes  No  Does a survey plat exist for your property?    subdivision plat submitted
11. Yes  No  Does the survey plat requirement pose an undue hardship upon you?  
If yes, explain: expense
12. Yes  No  Do you understand that a certification statement shall be signed by you verifying the sewage disposal system is located on your property as permitted prior to issuance of an operation permit?

In all cases, it shall be the landowner's responsibility to ensure that the system is properly located as permitted.

Owner's Signature \_\_\_\_\_ Date \_\_\_\_\_

\*\*\*\*\*

**VDH USE ONLY**

Waiver: **Granted** Denied (circle one) Date \_\_\_\_\_  
Health Department Identification Number \_\_\_\_\_  
Reason(s) for denial of waiver \_\_\_\_\_

Environmental Health Specialist Senior's Signature \_\_\_\_\_  
Environmental Health Supervisor's Signature \_\_\_\_\_