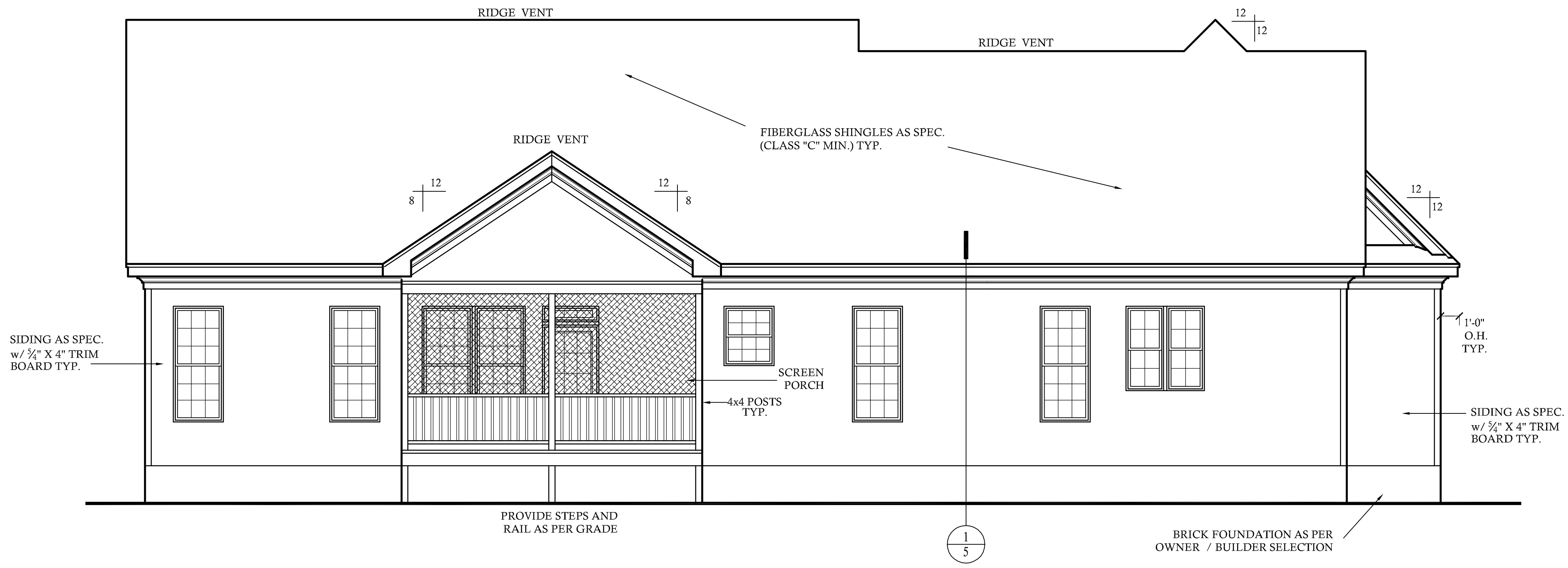


FRONT ELEVATION

SCALE: 1/4"=1'-0"

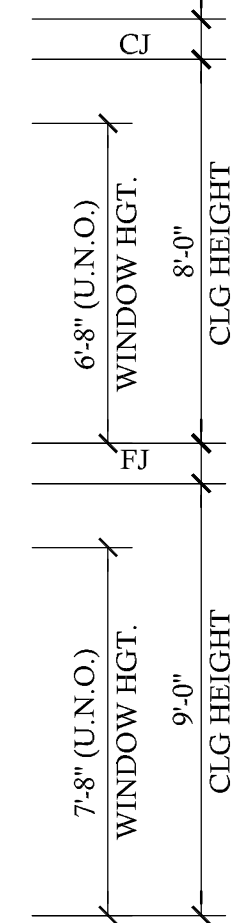


REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTE:
SEE ROOF PLAN FOR KNEEWALL
HEIGHTS AND LOCATIONS.

NOTE:
GRADE LINES ARE ASSUMED. VERIFY
WITH FINAL GRADING PLAN.



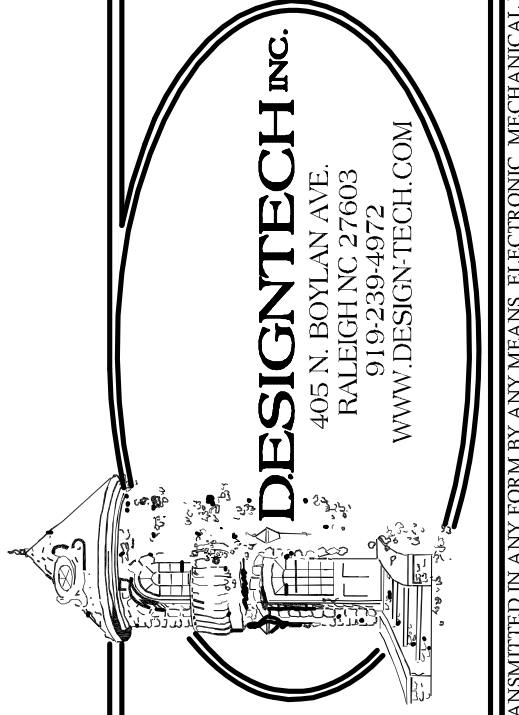
NOTE: PLANS DESIGNED UNDER 2012 NORTH CAROLINA
RESIDENTIAL CODE.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS
AND DIMENSIONS SHALL BE REPORTED
ANY ERROR OR OMISSIONS SHALL BE REPORTED
JUSTIFICATION CONTRACTOR MUST COMPLY
WITH ALL APPLICABLE REGULATIONS
DRAWINGS ARE PROVIDED CONTRACTOR MUST
STRUCTURAL DESIGN. ONCE CONSTRUCTION
HAS BEGUN, CONTRACTOR WILL ASSUME
PLANS HAS BEEN DESIGNED TO COMPLY WITH
2012 IRC

REVISIONS:	
DATE:	NAME:
4-8-14	CDS

DRAWN BY:
RRR/JCD
CHECKED BY:

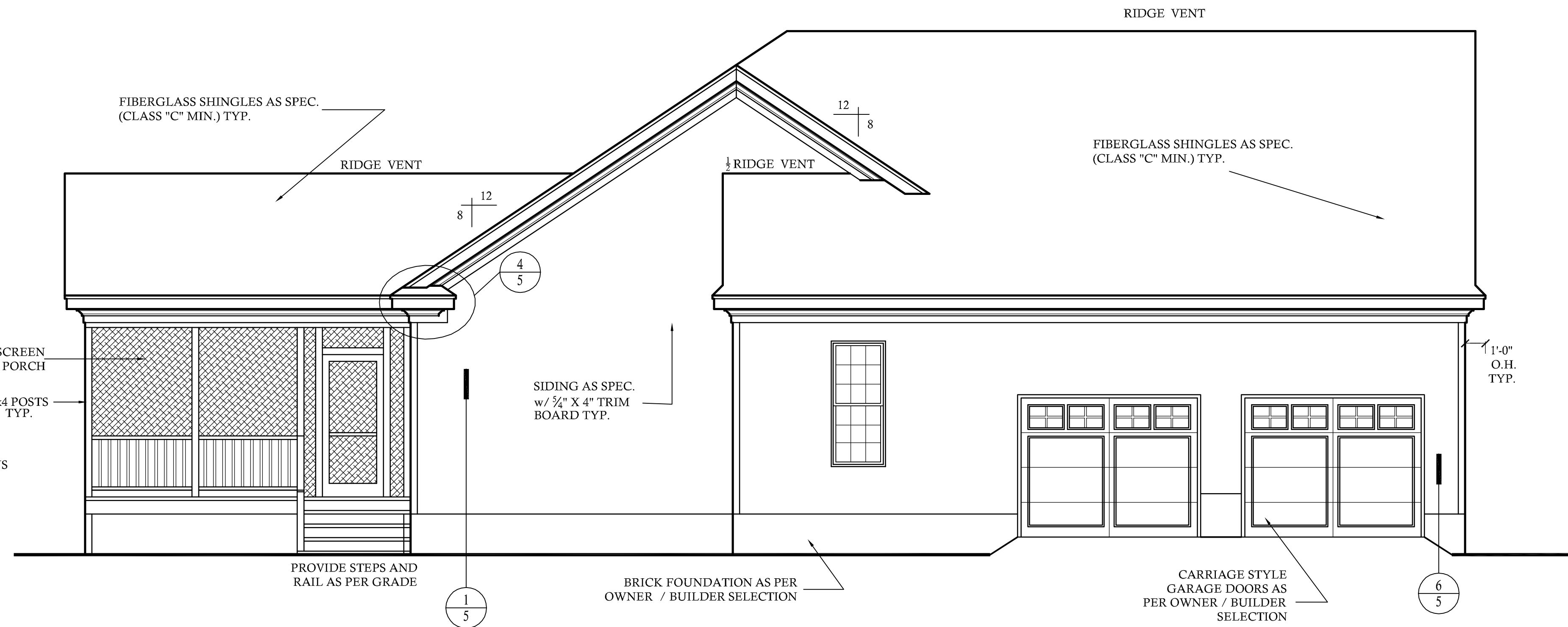
DATE:
9-24-12
PLAN NO.
15-2555-DT



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WARRENTON COUNTY, N.C. 27589

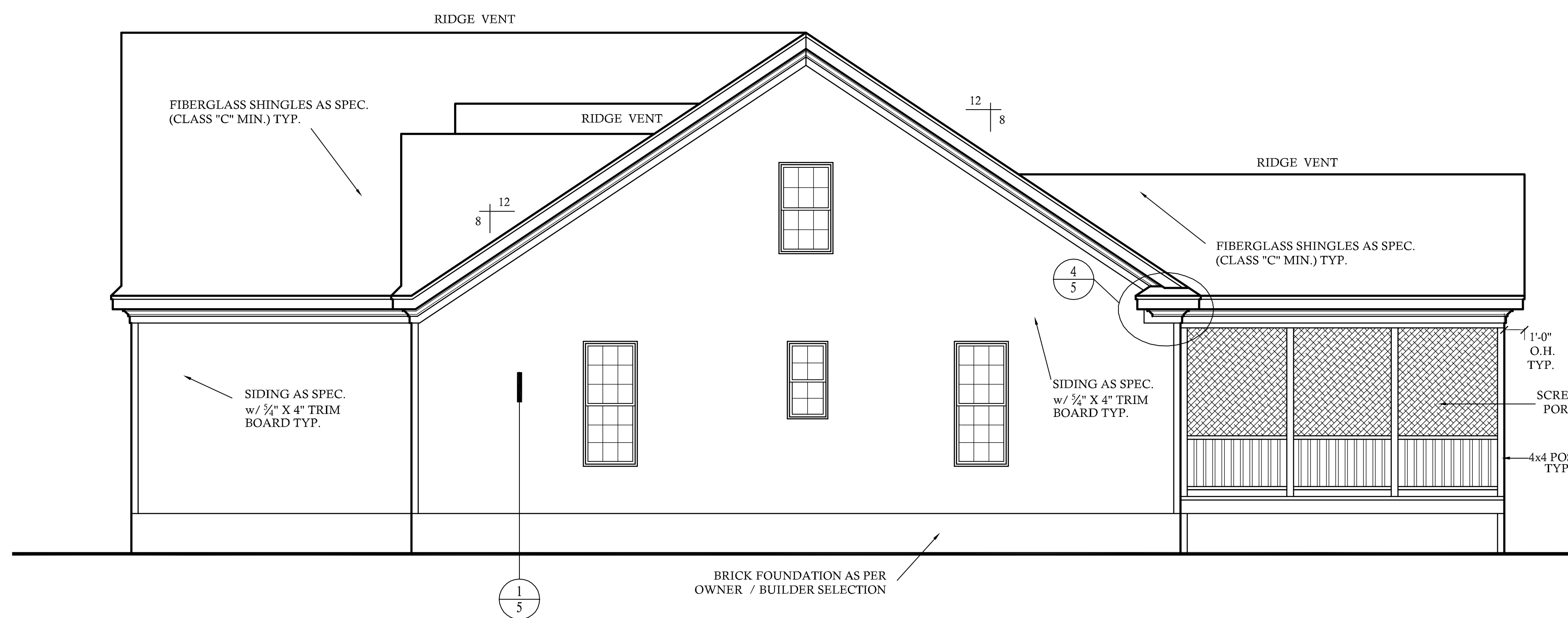
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FOR EZE-BREEZE WINDOWS
FRAMING DIMENSIONS PER
MANUFACTURER'S DIMENSIONS
SEE BUILDER & OWNER FOR
COLUMN LOCATIONS



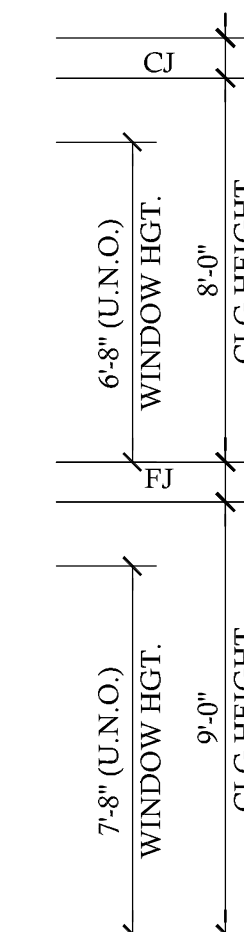
LEFT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



NOTE:
SEE ROOF PLAN FOR KNEEWALL
HEIGHTS AND LOCATIONS.

NOTE:
GRADE LINES ARE ASSUMED. VERIFY
WITH FINAL GRADING PLAN.

REVISIONS:

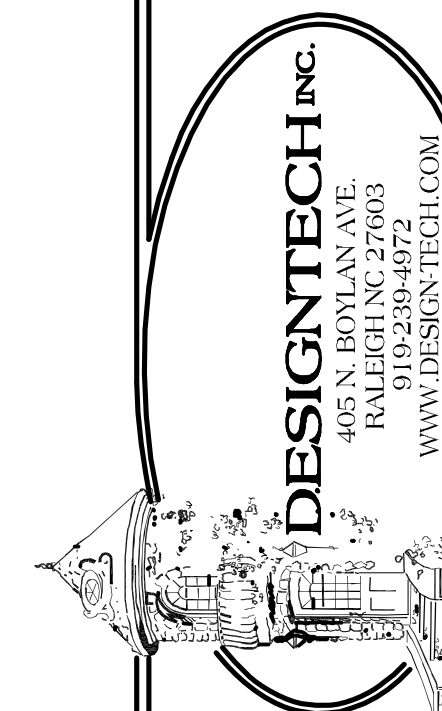
DATE: NAME:

4-8-14 CDS

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RKR/JCD

CHECKED BY:

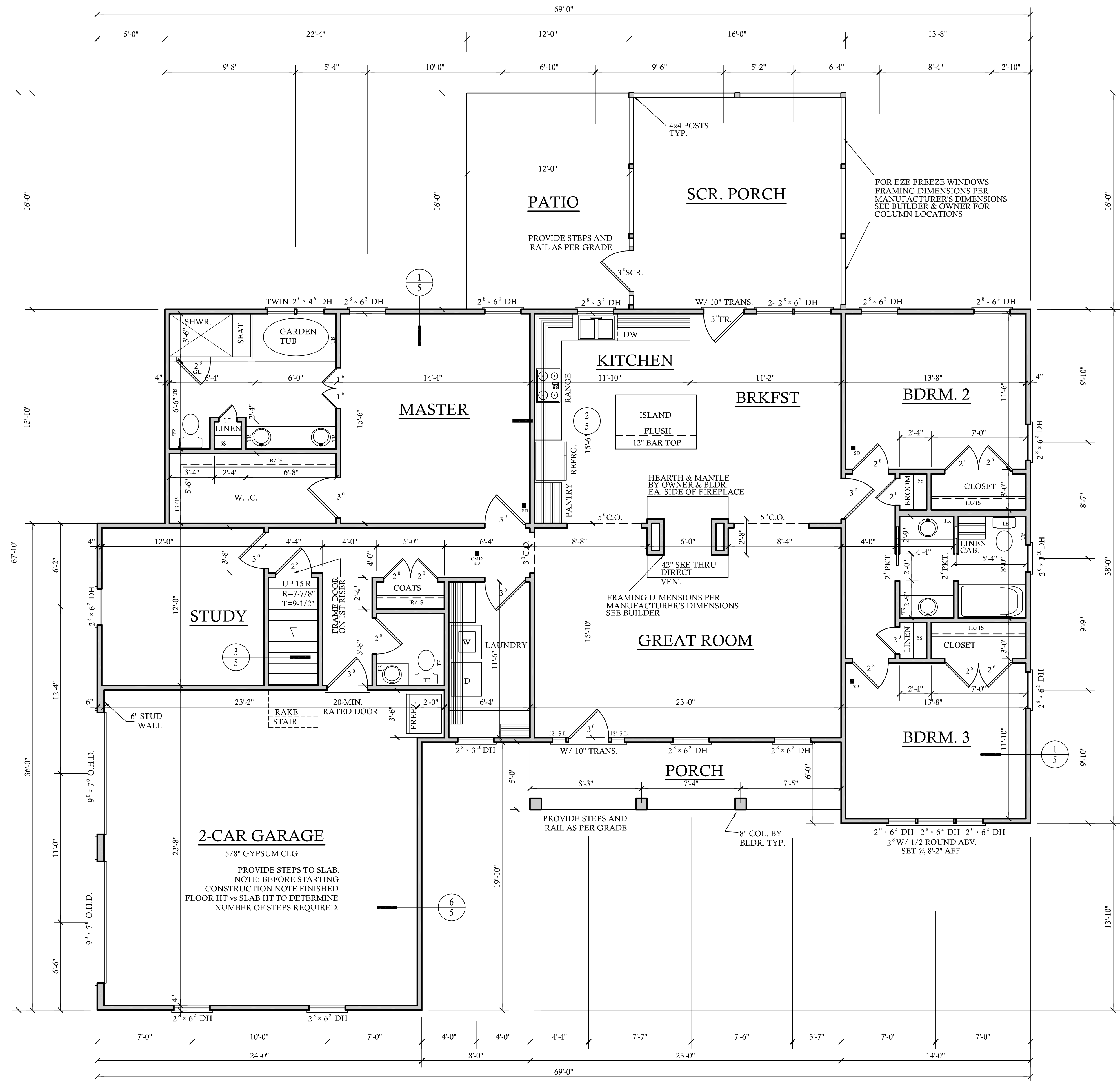
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SHEET NO.
2
OF
5

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LIST OF ABBREVIATIONS

CLG. : CEILING	ABV. : ABOVE
HGT. : HEIGHT	C.O. : CASSED OPENING
D.O. : DOUBLE OVEN	REFG. : REFRIGERATOR
WD. : WOOD	D.W. : DISHWASHER
CONT. : CONTINUOUS	T.B.D. : TO BE DETERMINED
CONC. : CONCRETE	W.I.C. : WALK IN CLOSET
COL. : COLUMN	W. : WASHER
ELLIP. : ELLIPSE	D. : DRYER
W/ : WITH	SHWR. : SHOWER
TRANS. : TRANSOM	DN. : DOWN
CANT. : CANTILEVER	K.S. : KNEE SPACE
M.O. : MASONRY OPENING	TYP. : TYPICAL

SS= 5 SHELVES
 1R/1S = 1 ROD AND 1 SHELF
 2R/2S = 2 RODS AND 2 SHELVES
 SD= SMOKE DETECTOR
 CMD= CARBON MONOXIDE DETECTOR

AREA CALCULATIONS

HEATED (SQ. FT.)	UNHEATED (SQ. FT.)
BASEMENT: N/A	GARAGE: 574
1ST FLOOR: 2114	PATIO: 192
2ND FLOOR: N/A	SCR. PORCH: 256
REC ROOM: 441	PORCH: 115
ATTIC: N/A	BRICK: N/A
TOTAL: 2555	TOTAL: 1137
	(UNHEATED)
OVERALL DIMENSION	UNFINISHED (SQ. FT.)
WIDTH: 69'-0"	BASEMENT: N/A
DEPTH: 67'-10"	REC ROOM: N/A
	ATTIC: N/A
	STORAGE: N/A

ACCESSORIES LEGEND

PROVIDE BLOCKING FOR:

TB = TOWEL BAR	MR = MAGAZINE RACK
TP = TOILET PAPER	MC = MEDICINE CABINET
TR = TOWEL RING	

NOTE:
 SELECTION BY OWNER PER BUILDER CONTRACT SPECIFICATIONS

- NOTES:**
- SEE CHAPTER 6 OF 2012 NCR FOR WALL CONSTRUCTION.
 - TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS ACCORDING TO 2012 NCR SECTION R308.4.
 - DWELLING/GARAGE FIRE SEPARATION SHALL PER TABLE 302.6 OF 2012 NCR.
 - ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS AS REQUIRED IN 2012 NCR SECTIONS R303.1 AND R310
 - ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.
 - VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.
 - LOCATE DORMER FACE TO ALLOW 4" MIN. BELOW WINDOW FRAME.
 - FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
 - ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH OWNER VIA SHOP DRAWINGS FROM CABINET MANUF.
 - ALL FLOOR COVERINGS AND FINISHES BY OWNER/BLDR. COORDINATE HEIGHTS DUE TO THICKNESS CHANGES.
 - ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN. SEE TABLE N1102.1, N1102.1.2
 - FINISHES OF SCREEN PORCH COLUMNS, RAILS, FLOORS, CEILINGS, SCREEN DOOR SYSTEM, AND DOOR TO PORCH BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS
 - FINISHES FOR CLOSET SHELVING AND ROD BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS
 - FINISHES OF ALL INTERIOR BASE BOARD, CLG. DETAIL / MOLDING, OPENING DETAILS, PASS-THRU'S, WAINSCOTTING DETAILS BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS

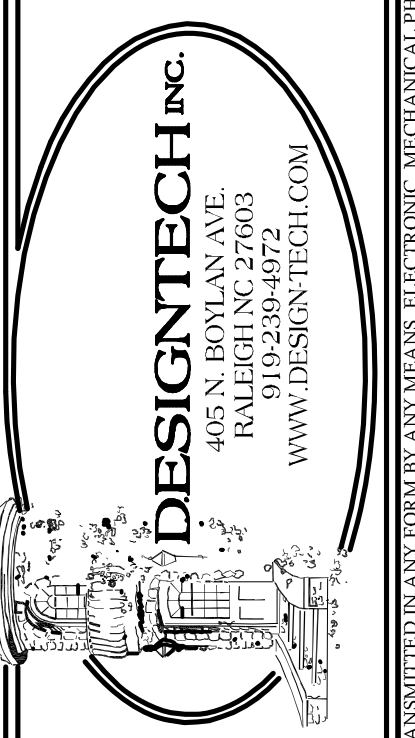
FIRST FLOOR PLAN SCALE: 1/4"=1'-0"
 9'-0" CLG. HGT. U.N.O.
 SET WINDOWS @ 7'-8" U.N.O.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY ERROR OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. JUSTIFICATION CONTRACTOR MUST COMPLY WITH ALL DIMENSIONS AND FINISHES. DRAWINGS ARE PROVIDED CONTRACTOR MUST VERIFY ALL DIMENSIONS AND FINISHES PRIOR TO CONSTRUCTION. CONTRACTOR WILL ASSUME STRUCTURAL DESIGN. ONCE CONSTRUCTION HAS BEGUN, CONTRACTOR WILL ASSUME ALL RESPONSIBILITIES FOR THE PROJECT. THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH 2012 IRC.

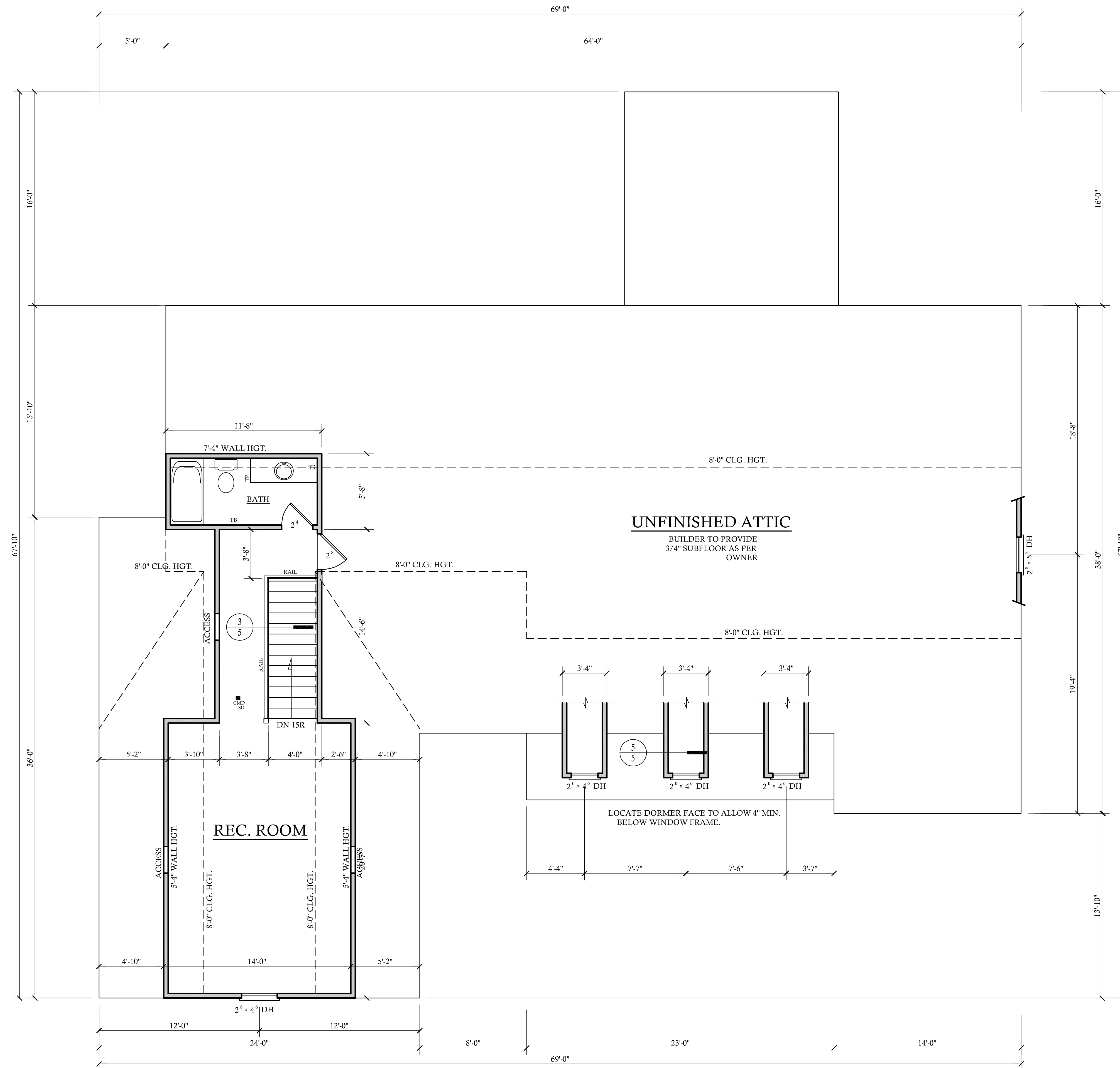
REVISIONS:

DATE:	NAME:
4-8-14	CDS

DRAWN BY: RKR/JCD
 CHECKED BY:
 DATE: 9-24-12
 PLAN NO. 15-2555-DT



BOLTON RESIDENCE
 975 PASCHALL RD.
 WARRENTON COUNTY, N.C. 27589



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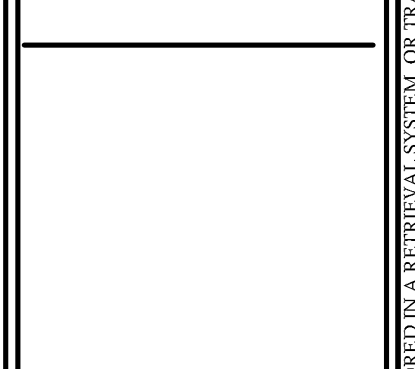
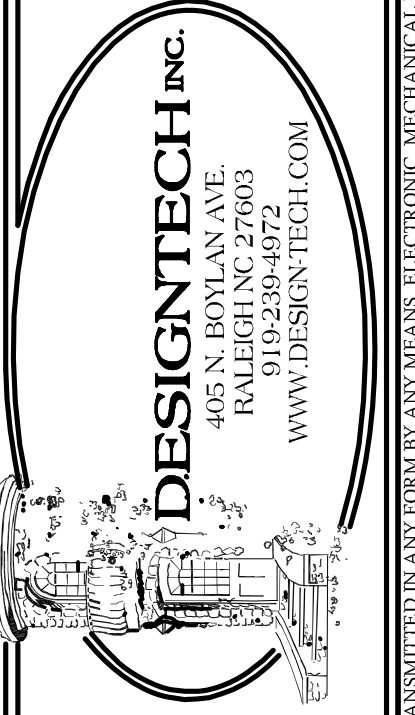
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ACCESSORIES LEGEND	
PROVIDE BLOCKING FOR:	
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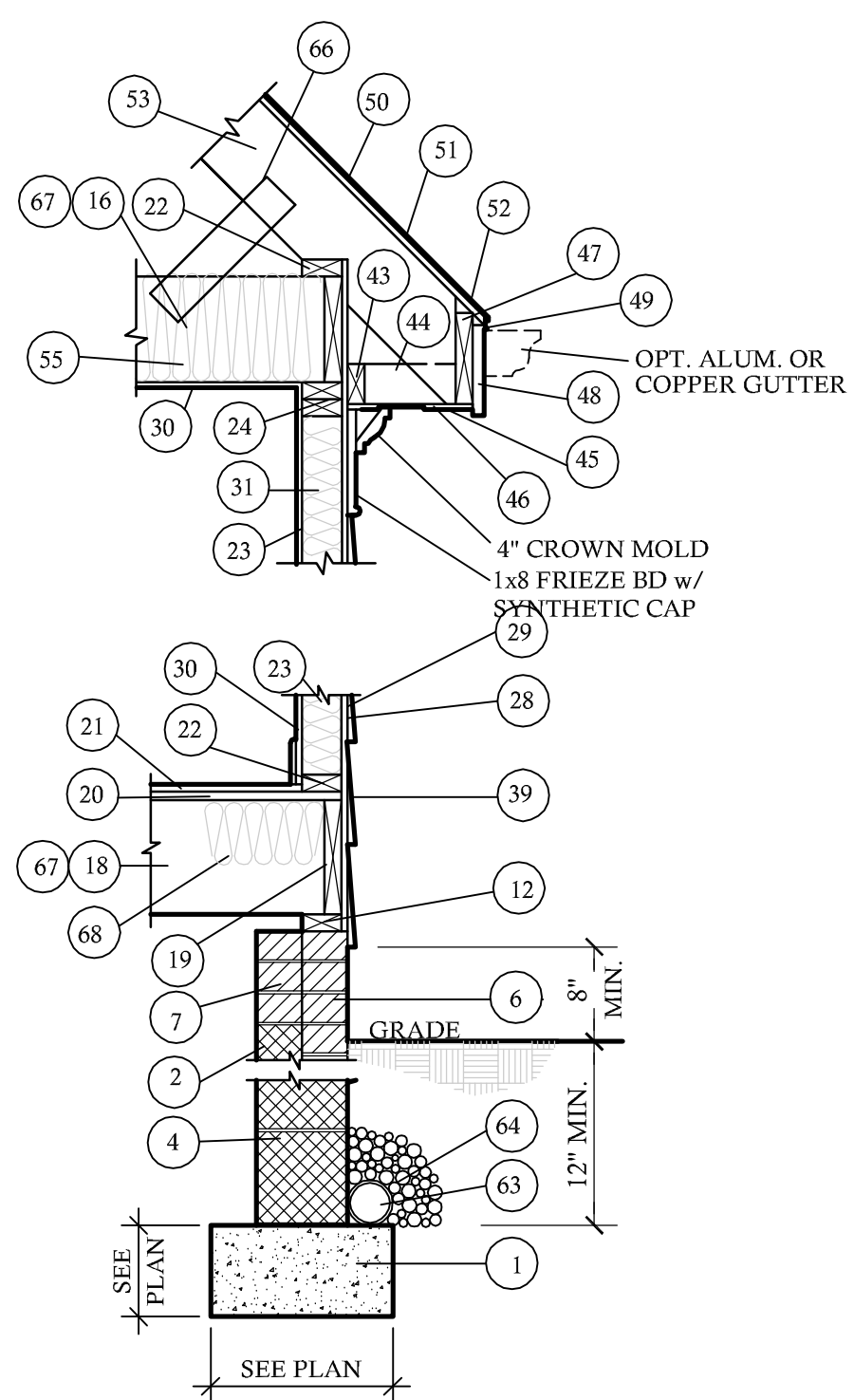
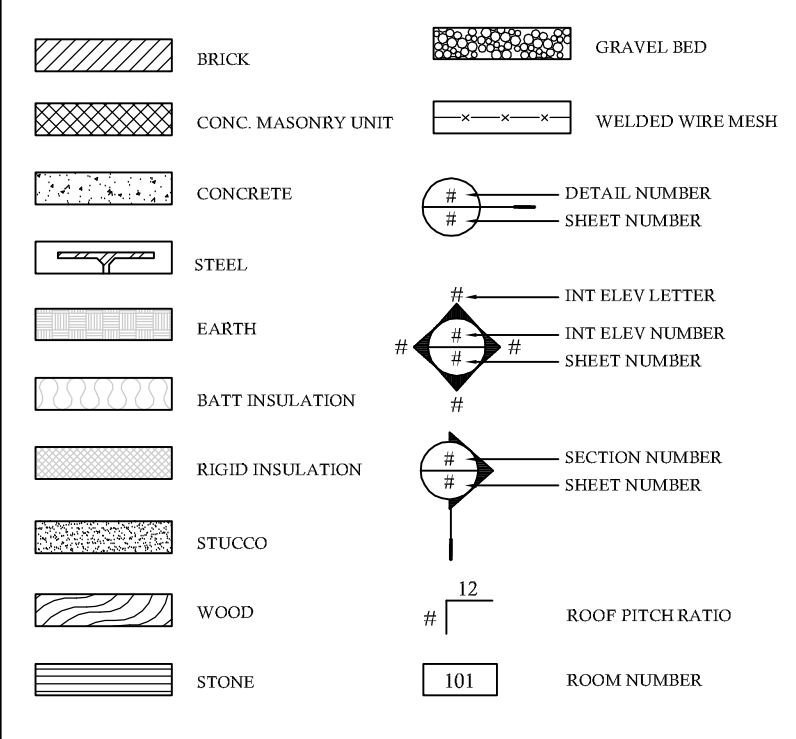
SECOND FLOOR PLAN SCALE: 1/4"=1'-0"
8'-0" CLG. HGT. U.N.O.
SET WINDOWS @ 6'-8" U.N.O.

SHEET NO.
4
OF
5

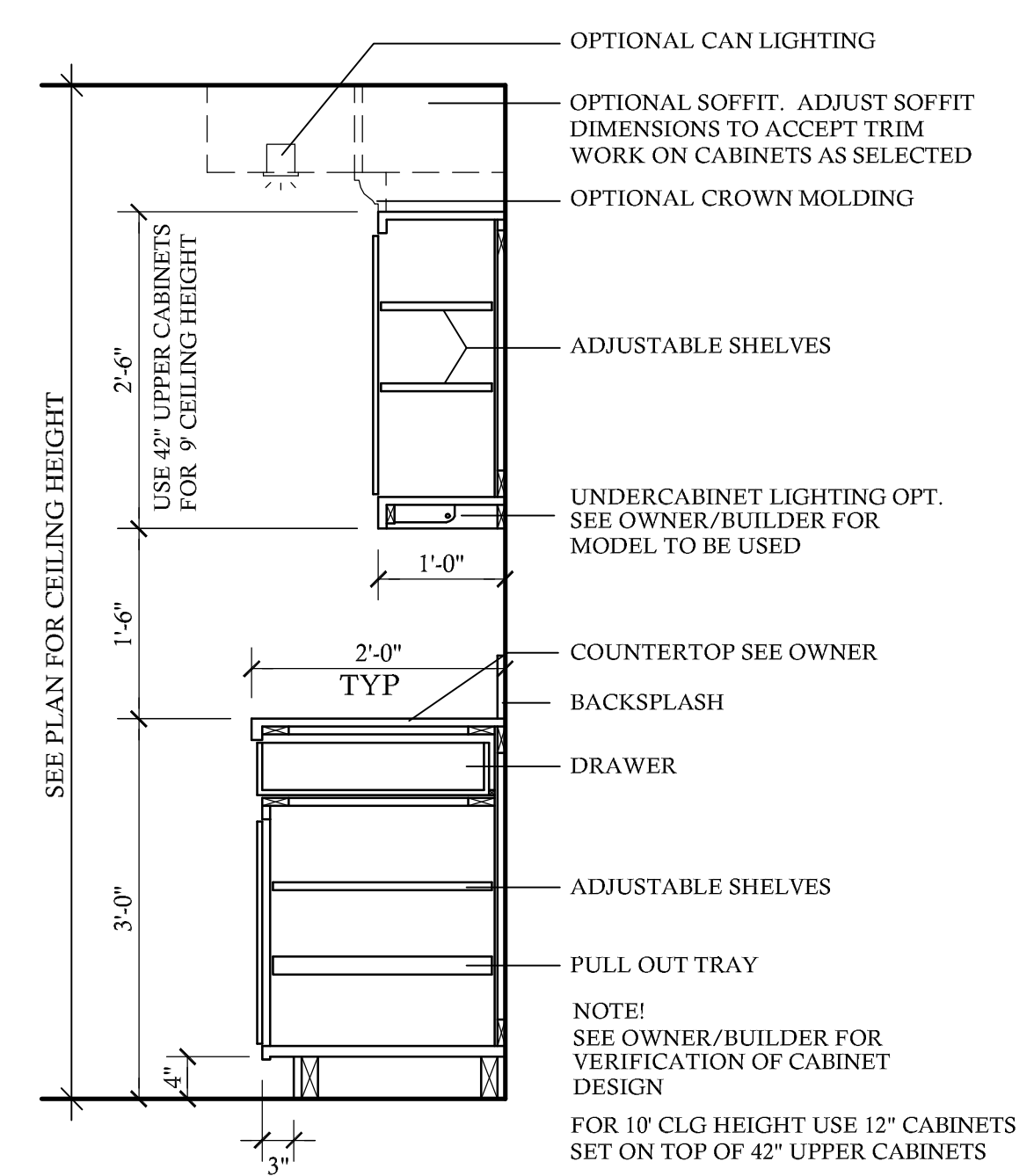
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MATERIAL REFERENCE

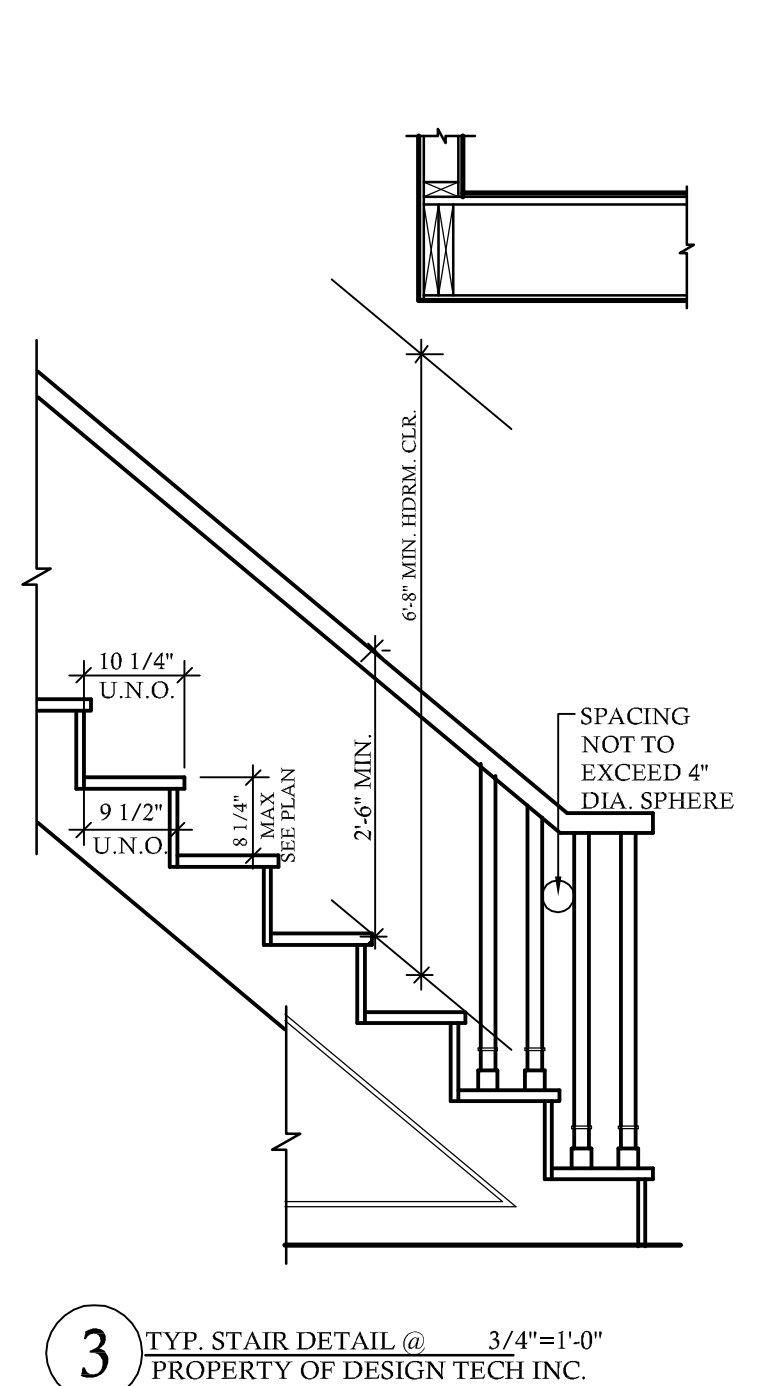
- 1. CONT. POURED CONC. FOOTING
- 2. 4 X 8 X 16 C.M.U.
- 3. 6 X 8 X 16 C.M.U.
- 4. 8 X 8 X 16 C.M.U.
- 5. 12 X 8 X 16 C.M.U.
- 6. BRICK
- 7. SOLID MASONRY CAP
- 8. 4" CONCRETE SLAB
- 9. 6 MIL. VAPOR BARRIER
- 10. 4" STONE BASE
- 11. 6" X 6" 10-10 W.W.M.
- 12. 2 X 4 TREATED SILL PLATE
- 13. 2 X 4 TREATED SILL PLATE
- 14. 2 X 4 JOIST
- 15. 2 X 4 BAND
- 16. 2 X 8 JOIST
- 17. 2 X 8 BAND
- 18. 2 X 10 JOIST
- 19. 2 X 10 BAND
- 20. A.P.A. RATED SUB-FLOOR
- 21. A.P.A. RATED UNDERLAYMENT
- 22. 2 X 4 SOLE PLATE
- 23. 2 X 4 STUD WALL
- 24. DBL 2 X 4 TOP PLATE
- 25. 2 X 6 SOLE PLATE
- 26. 2 X 8 STUD WALL
- 27. DBL 2 X 4 TOP PLATE
- 28. EXTERIOR SHEATHING
- 29. SHEATHING PAPER
- 30. 1/2" DRY WALL
- 31. R-19 BATT INSULATION MIN.
- 32. BRICK VENEER
- 33. WALL TIE
- 34. WEEP HOLES @ 16" O.C. HORIZ
- 35. FLASHING AS REQ. PER CODE
- 36. SELF FURRING GALV METAL LATH
- 37. METAL BEAD
- 38. STUCCO PLASTER
- 39. SIDING AS SPECIFIED
- 40. TPL 2 X BLOCKING
- 41. WOOD FILLER
- 42. 1 X FRIEZE BOARD
- 43. NAILED
- 44. LOCKOUT
- 45. 3/8" EXT PLYWOOD SOFFIT
- 46. SOFFIT VENT
- 47. SUB FASCIA
- 48. 1 X FASCIA
- 49. METAL DRIP STRIP
- 50. SHINGLES AS SPECIFIED
- 51. 15 L.B. FELT PAPER
- 52. A.P.A. RATED SHEATHING
- 53. 2 X 8 RAFTER
- 54. 2 X 6 RAFTER
- 55. R-38 BATT INSULATION MIN
- 56. C.M.U. PIER
- 57. TREATED 2 X 6 SHIM PLATE
- 58. GIRDER SIZE PER PLAN
- 59. 2 X 2 LEDGER BOARD
- 60. 1/2" EXPANSION JOINT
- 61. 1 1/2" RIGID INSULATION (R-5.0 MIN)
- 62. WATERPROOFING
- 63. 4" PERFORATED DRAIN TILE (SLOPE TO DRAIN)
- 64. CRUSHED STONE W/ INFILTRATION BARBER ABOVE
- 65. CONC. WASH
- 66. 2 X 4 RAFTER TIE BACKS PER ENG SPECS. AT MIN EVERY THIRD RAFTER
- 67. SEE STRUCTURAL SHEETS FOR JOIST DIRECTION
- 68. R-19 BATT INSULATION (MIN.)
- 69. POURED CONC. FND. WALL
- 70. OPT. TRIM SEE BLDG.
- 71. STONE VENEER
- 72. TRUSSES PER MANUFACTURER
- 73. STUCCO DRIP CAP
- 74. STUCCO ON CMU OR CONCRETE WALL
- 75. BAND W/ DRIP CAP
- 76. SOFFIT BIRD MOLD TRIM
- 77. 2 X 8 TREATED SILL PLATE
- 78. 2 X 12 JOIST
- 79. 2 X 12 BAND
- 80. 60 MIL. OF THRU WALL FLASHING



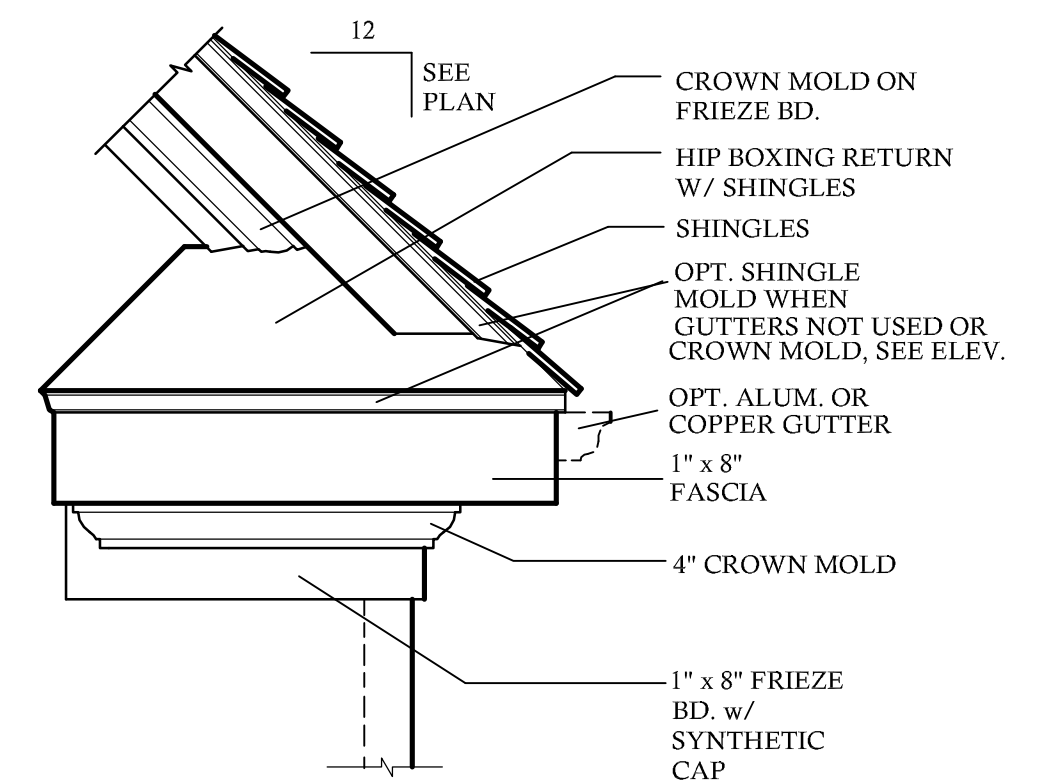
4 ONE STORY WALL W/ SIDING @ 3/4"=1'-0" PROPERTY OF DESIGN TECH INC. DESIGNED FOR 100 MPH WINDS



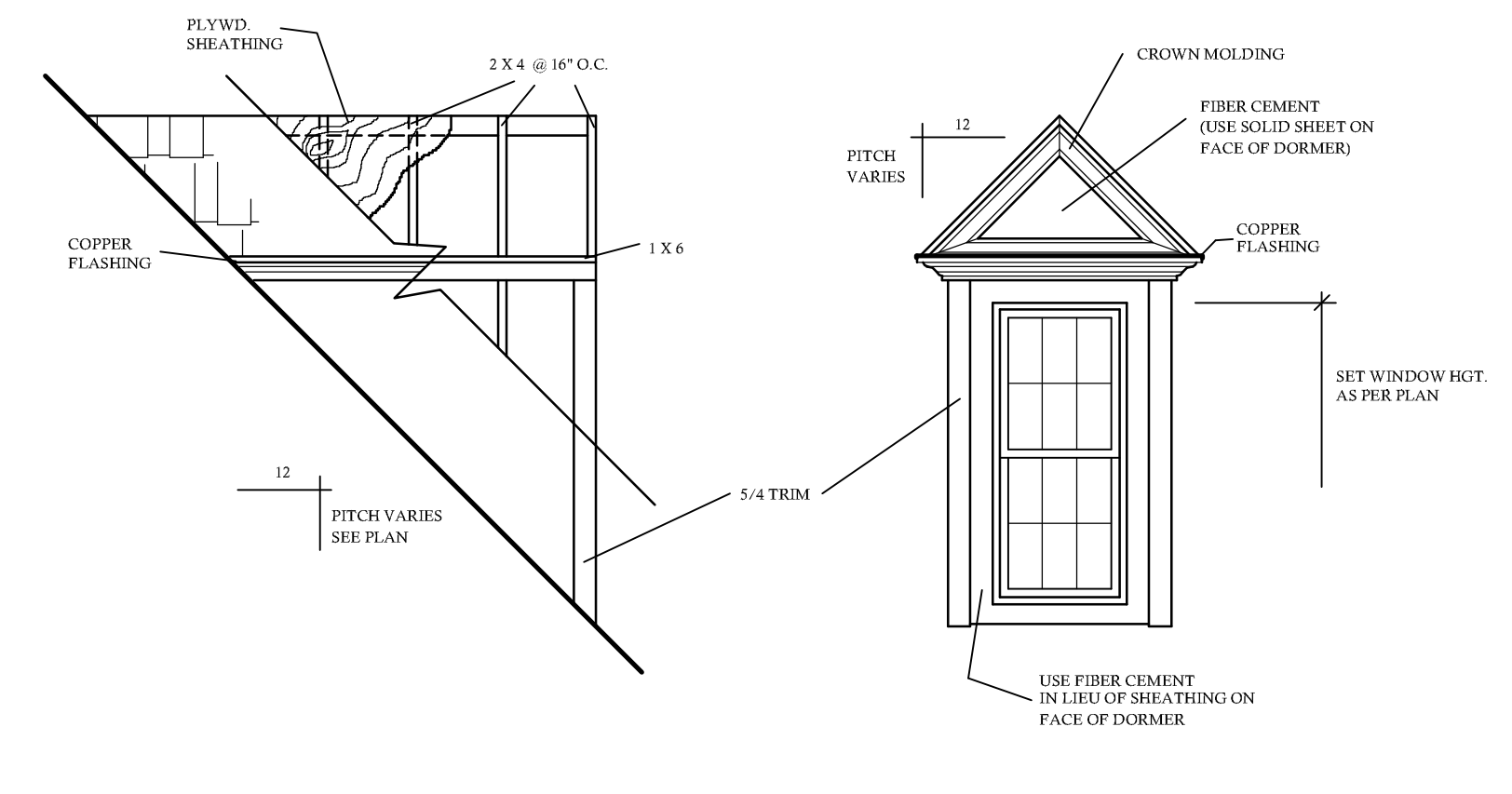
2 TYP. KITCHEN CABINET SECTION @ 3/4"=1'-0" PROPERTY OF DESIGN TECH INC.



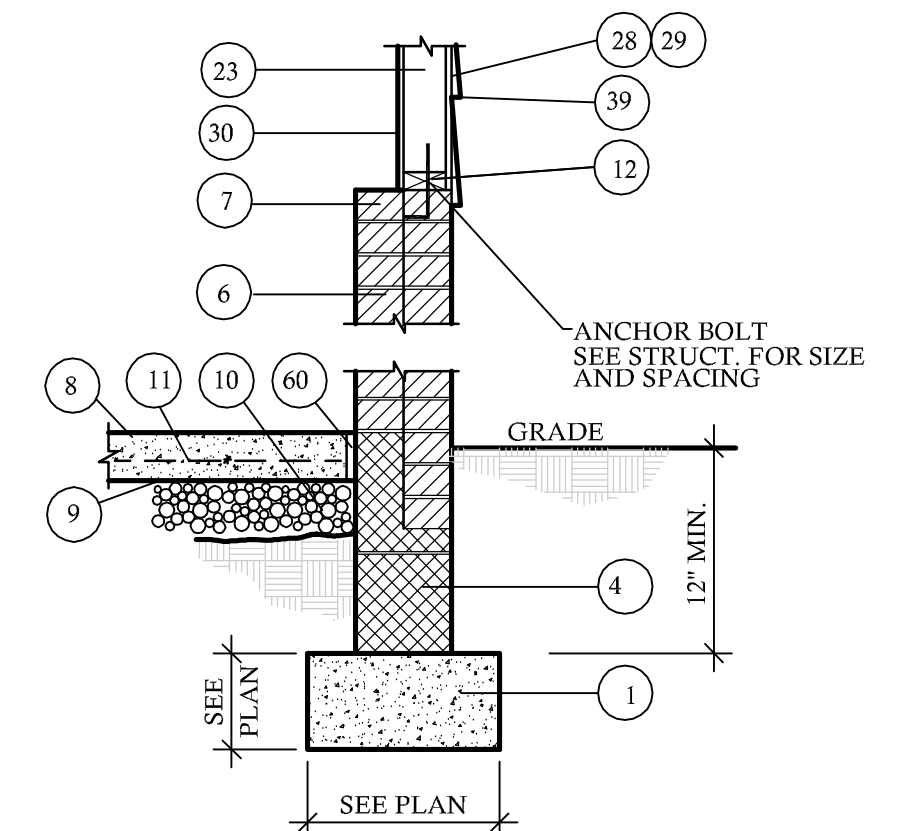
3 TYP. STAIR DETAIL @ 3/4"=1'-0" PROPERTY OF DESIGN TECH INC.



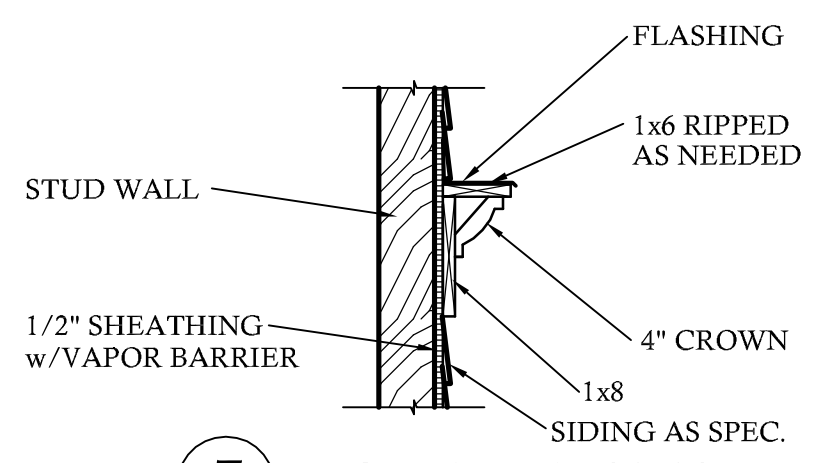
4 HIP BOXING RETURN DETAIL @ 3/4"=1'-0" PROPERTY OF DESIGN TECH INC.



5 DORMER DETAIL @ 3/8"=1'-0" PROPERTY OF DESIGN TECH INC.



6 GARAGE WALL W/ SIDING @ 3/4"=1'-0" PROPERTY OF DESIGN TECH INC. DESIGNED FOR 100 MPH WINDS



7 WINDOW HEAD DETAIL @ 1"=1'-0" PROPERTY OF DESIGN TECH INC.

PLANS DESIGNED TO THE 2012 NORTH CAROLINA RESIDENTIAL CODE HOUSE DESIGNED FOR 100 MPH 3 SECOND GUST (80 FASTEST MILE), EXPOSURE B ANCHOR BOLTS TO BE NO MORE THAN 6" O.C. AND WITHIN 12" OF ALL PLATES SPLICES ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE

MEAN ROOF HEIGHT = $< 30'-0"$

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF HEIGHT	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

MINIMUM VALUES FOR ENERGY COMPLIANCE:
 ZONE 4 MAX GLAZING U-FACTOR = 0.35 CEILING R-38 WALLS R-15 FLOORS R-19

FOUNDATION VENT CALCS.

$\frac{1974 \text{ SQ. FT.}}{150} = 13.16 \text{ SQ. FT.} = 24 \text{ VENTS TO BE PROVIDED}$

NOTE: FIGURE BASED ON SECTION R-408 OF THE 2012 NCRC.
 NOTE: FND VENT SPECS BASED ON PUSH/PULL POLYPROPYLENE FND. VENT THAT ALLOWS 72 SQ. IN. OF NET FREE AREA PER VENT.

1 THE TOTAL ARE OF VENTILATION OPENINGS MAY BE REDUCED BY 1 SQ.FT. PER 1,500 SQ.FT. OF THE UNDER FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL IN ACCORDANCE WITH SECTION R408.2 AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE CRAWL SPACE. THE INSTALLATION OF OPERABLE LOUVERS SHALL NOT BE PROHIBITED.

2 FOR CLOSED CRAWLSPACES, SEE SECTION R-409 OF THE 2012 NCRC.

ROOF VENTILATING REQUIREMENTS

$\frac{3060 \text{ SQ.FT.}}{150} = 20.4 \text{ SQ. FT. OF TOTAL ROOF VENTILATION REQD}$

$166.8 \text{ (LINEAR FT. OF SOFFIT) X } .035 \text{ (NET FREE AREA PER FT.)} = 5.838 \text{ SQ. FT. OF AVAILABLE SOFFIT VENT}$

$20.4 - 5.838 = 14.56 \text{ SQ.FT. REMAINING REQD ROOF VENTILATION}$

$\frac{14.56 \text{ SQ.FT.}}{.125 \text{ (NET FREE AREA PER FT.)}} = 116.49 \text{ LINEAR FT. OF RIDGE VENT REQD}$

NOTE: FIGURE BASED ON SECTION R-806 OF THE 2012 IRC.
 NOTE: - SOFFIT VENT SPECS BASED ON HARDISOFFIT PANELS THAT ALLOWS 5 SQ. IN. OF NET FREE AREA PER LINEAR FT.
 - RIDGE VENT SPECS BASED ON VENTURIVENT PLUS THAT ALLOWS 18 SQ. IN. OF NET FREE AREA PER LINEAR FT.

TOTAL NET FREE VENTILATING AREA IS PERMITTED TO BE REDUCED TO 1 TO 300:

1 PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQD VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE R806.2 OF THE 2012 IRC. FOR PROPER LOCATION.

2 WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING

DESIGN TECH INC. 405 N. BOYLAN AVE. RALEIGH NC 27603 (704) 249-4972 WWW.DESIGNTECHINC.COM

BOLTON RESIDENCE
 975 PASCHALL RD.
 WARRENTON COUNTY, N.C. 27589

REVISIONS:
 DATE: 4-8-14 NAME: CDS

DRAWN BY: RKR/JCD
 CHECKED BY:
 DATE: 9-24-12
 PLAN NO. 15-2555-DT

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AI BD SHEET NO. 5 OF 5