

NOTE:  
GRADE LINES ARE ASSUMED. VERIFY  
WITH FINAL GRADING PLAN.

**FRONT ELEVATION**

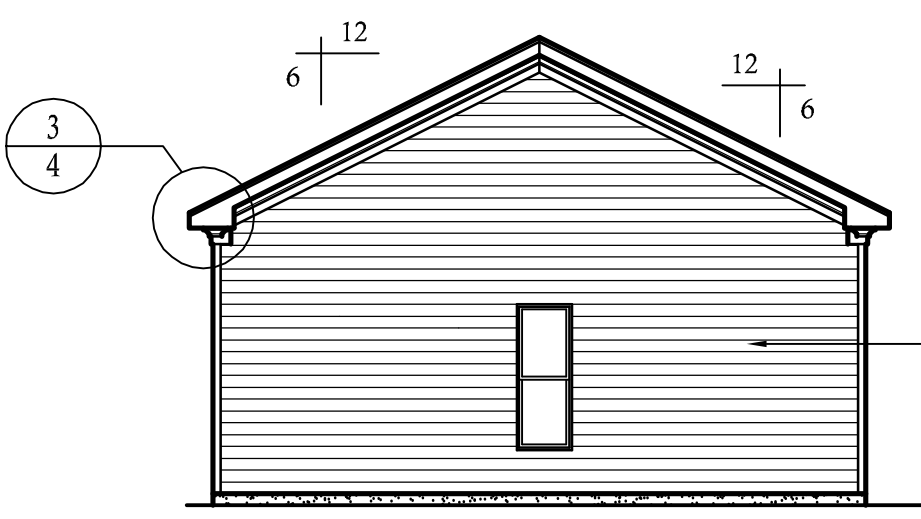
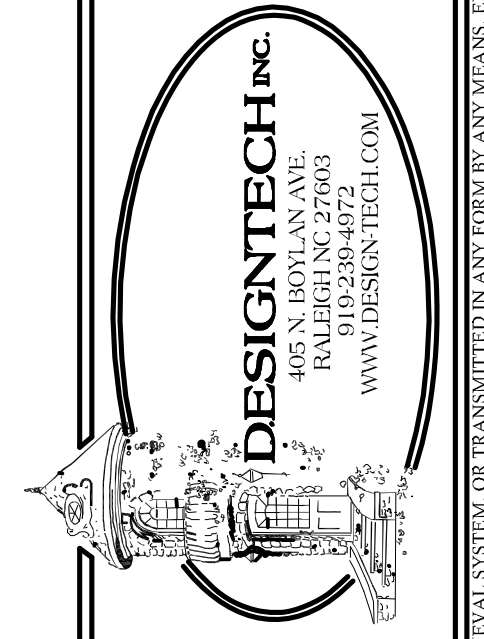
SCALE: 1/4"=1'-0"

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY ERROR OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. CONTRACTOR MUST COMPLY WITH ALL LOCAL BUILDING CODES WHERE HOME IS TO BE BUILT. IF NO ENGINEERING DRAWINGS ARE PROVIDED, CONTRACTOR MUST CONSULT WITH LOCAL ENGINEER FOR STRUCTURAL DESIGN. ONCE CONSTRUCTION HAS BEGUN, CONTRACTOR WILL ASSUME ALL RESPONSIBILITY. THIS DRAWING HAS BEEN DESIGNED TO COMPLY WITH 2012 IBC.

REVISIONS:

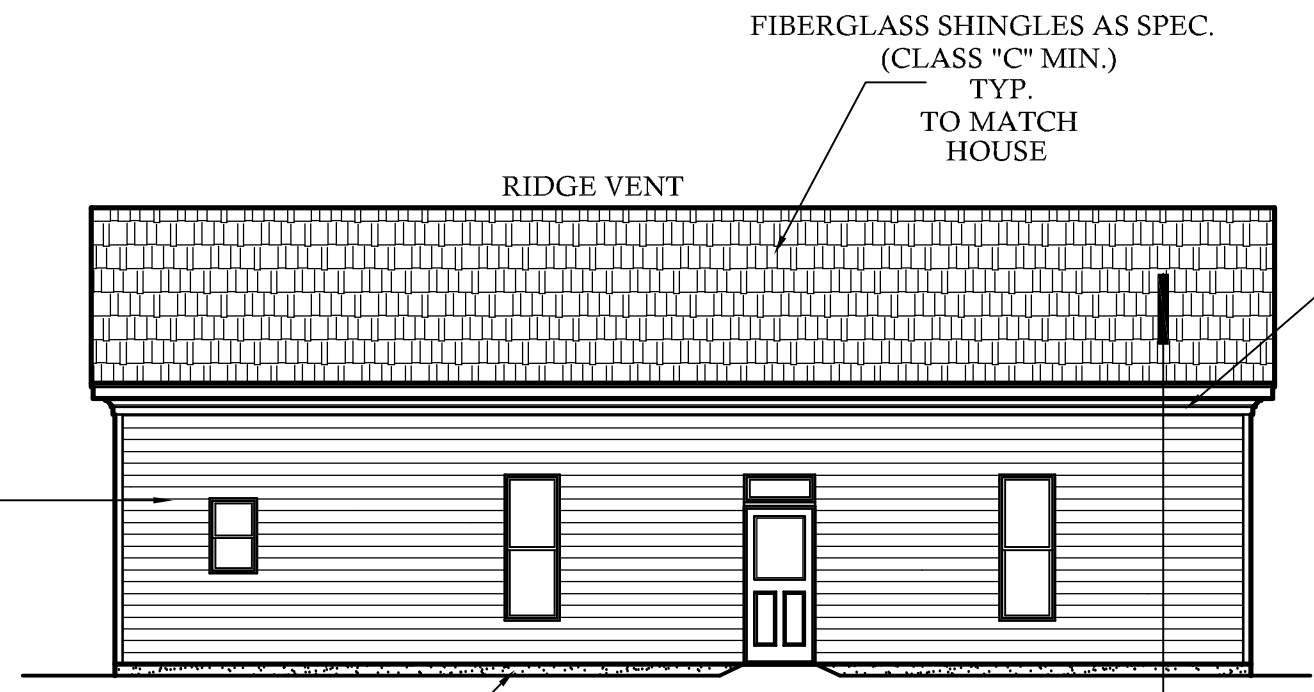
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CHECKED BY:  
JCD  
DATE:  
3-19-15  
PLAN NO.  
GARAGE



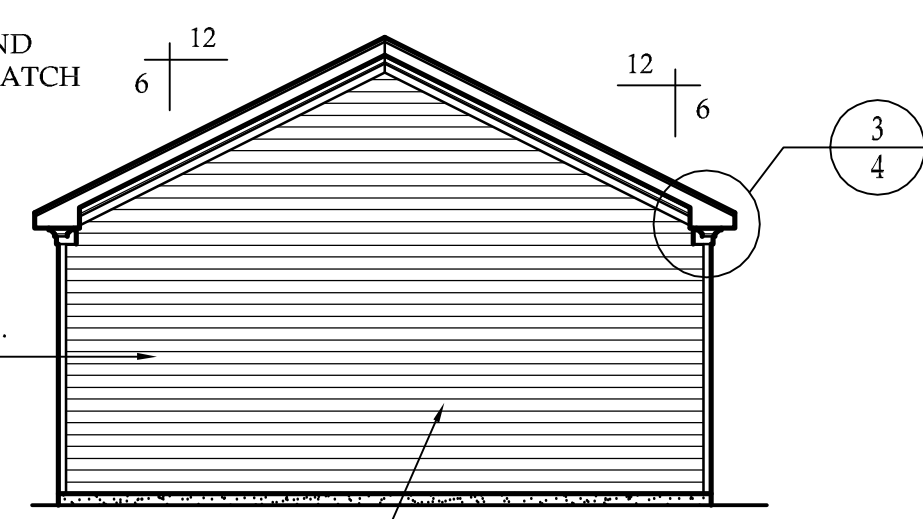
**LEFT ELEVATION**

SCALE: 1/8"=1'-0"



**REAR ELEVATION**

SCALE: 1/8"=1'-0"



**RIGHT ELEVATION**

SCALE: 1/8"=1'-0"

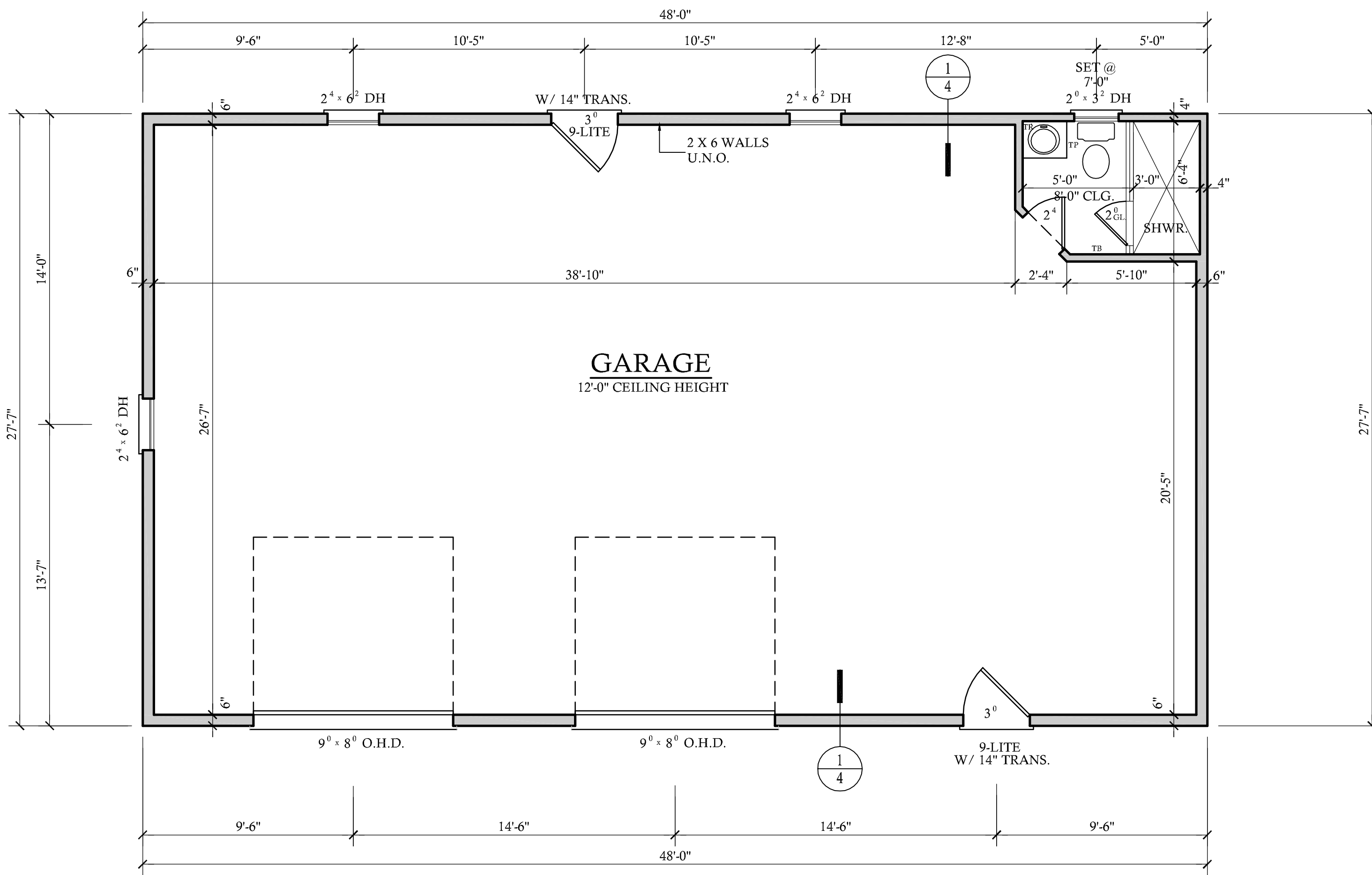
GARAGE DOOR STYLE SELECTION BY OWNER (VERIFY HEIGHT OF GARAGE DOOR WITH OWNER / BUILDER)

NOTE: PLANS DESIGNED UNDER 2012 NORTH CAROLINA RESIDENTIAL CODE.

**BOLTON -GARAGE**  
975 PASCHALL RD.  
WARRENTON, N.C., 27589

A/BD	SHEET NO.
	1
	OF 4

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### LIST OF ABBREVIATIONS

CLG. : CEILING	ABV. : ABOVE
HGT. : HEIGHT	C.O. : CASSED OPENING
D.O. : DOUBLE OVEN	REFG. : REFRIGERATOR
WD. : WOOD	D.W. : DISHWASHER
CONT.: CONTINUOUS	T.B.D. : TO BE DETERMINED
CONC. : CONCRETE	W.I.C. : WALK IN CLOSET
COL. : COLUMN	W : WASHER
ELLIP. : ELLIPSE	D : DRYER
W/ : WITH	SHWR. : SHOWER
TRANS. : TRANSOM	DN. : DOWN
CANT. : CANTILEVER	K.S. : KNEE SPACE
M.O. : MASONRY OPENING	TYP. : TYPICAL
5S= 5 SHELVES	
1R/1S = 1 ROD AND 1 SHELF	
2R/2S = 2 RODS AND 2 SHELVES	

### ACCESSORIES LEGEND

PROVIDE BLOCKING FOR:

TB = TOWEL BAR	MR = MAGAZINE RACK
TP = TOILET PAPER	MC = MEDICINE CABINET
TR = TOWEL RING	

**NOTE:**  
SELECTION BY OWNER PER BUILDER CONTRACT SPECIFICATIONS

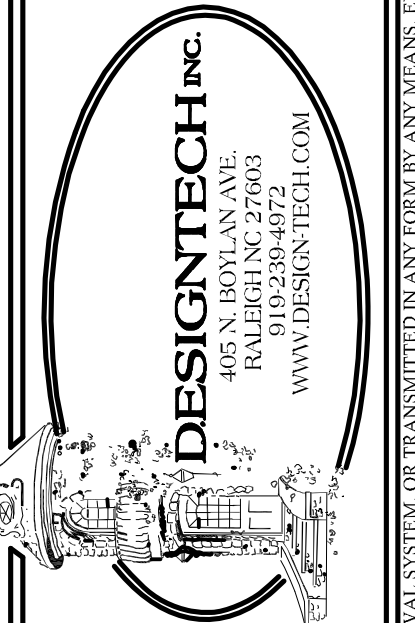
- ### NOTES:
- 1.) SEE CHAPTER 6 OF 2012 NCRG FOR WALL CONSTRUCTION.
  - 2.) TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS ACCORDING TO 2012 NCRG SECTION R308.4.
  - 3.) DWELLING/GARAGE FIRE SEPARATION SHALL PER TABLE 302.6 OF 2012 NCRG.
  - 4.) ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS AS REQUIRED IN 2012 NCRG SECTIONS R303.1 AND R310
  - 5.) ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.
  - 6.) VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.
  - 7.) LOCATE DORMER FACE TO ALLOW 4" MIN. BELOW WINDOW FRAME.
  - 8.) FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
  - 9.) ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH OWNER VIA SHOP DRAWINGS FROM CABINET MANUF.
  - 10.) ALL FLOOR COVERINGS AND FINISHES BY OWNER/ BLDR. COORDINATE HEIGHTS DUE TO THICKNESS CHANGES.
  - 11.) ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN. SEE TABLE N1102.1, N1102.1.2
  - 12.) FINISHES OF SCREEN PORCH COLUMNS,RAILS, FLOORS , CEILINGS ;SCREEN DOOR SYSTEM,AND DOOR TO PORCH BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS
  - 13.) FINISHES FOR CLOSET SHELVING AND ROD BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS
  - 14.) FINISHES OF ALL INTERIOR BASE BOARD , CLG. DETAIL / MOLDING ,OPENING DETAILS ,PASS-THRUS ,WAINSCOTTING DETAILS BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS

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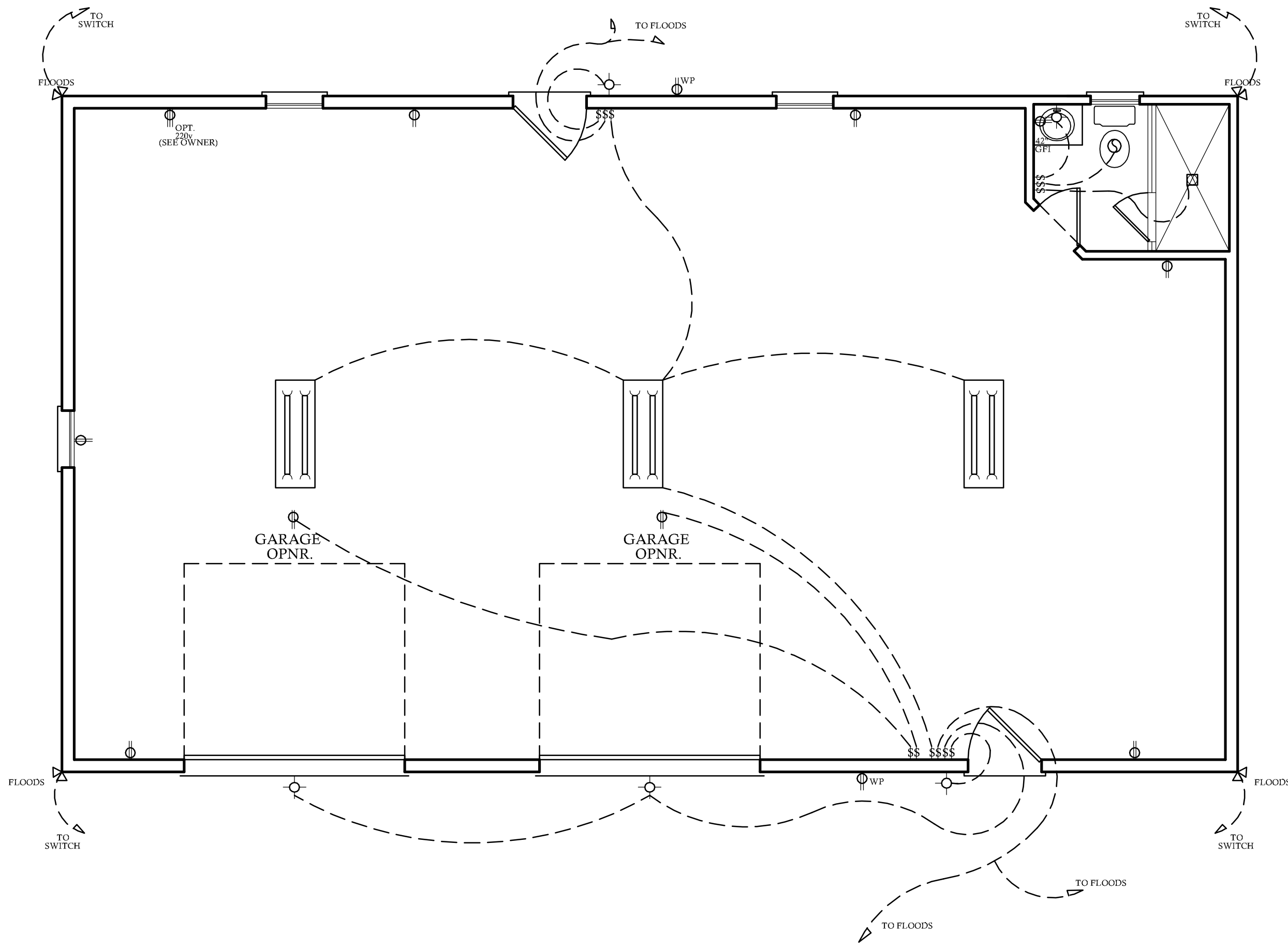
## BOLTON -GARAGE

975 PASCHALL RD.  
WARRENTON, N.C. , 27589

## FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"  
12'-0" CLG. HGT. U.N.O. 1324 SQ.FT.  
SET WINDOWS @ 8'-0" U.N.O.

SHEET NO.  
**2**  
OF 4



### FIRST FLOOR ELECTRICAL PLAN

#### ELECTRICAL LEGEND

- - LIGHT FIXTURE
- ⊙ - FAN/LIGHT
- ⊕ WP - WATERPROOF OUTLET
- - RECESSED LIGHTING
- ⊠ - CAN LIGHT W/ FAN
- ⌘ - SINGLE SWITCH
- ⌘<sub>3</sub> - 3-WAY SWITCH
- ⌘<sub>4</sub> - 4-WAY SWITCH
- ⌘<sub>D</sub> - DIMMER SWITCH
- ⊠<sub>CM</sub> - CARBON MONOXIDE DETECTOR
- ⊠<sub>SD</sub> - SMOKE DETECTOR
- ⊠ - FLOOD LIGHTS
- ▽ - EYEBALL SPOTS
- ⊕ - DUPLEX RECEPTACLE (110V)
- ⊕ - 220 VOLT RECEPTACLE
- ⊕ - SWITCHED RECEPTACLE (TOP WIRE ONLY)
- GFI - GROUND FAULT CIRCUIT INTERRUPTOR
- ⊕ - CLG FAN/LIGHTS
- - TRACK LIGHTS
- - FLUORESCENT LIGHTING
- - CABLE OUTLET
- ▲ - TELEPHONE OUTLET
- △ - COMPUTER DATA OUTLET
- - INTERCOM

**NOTE:**  
ALL ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE NEC.

#### ELECTRICAL NOTES:

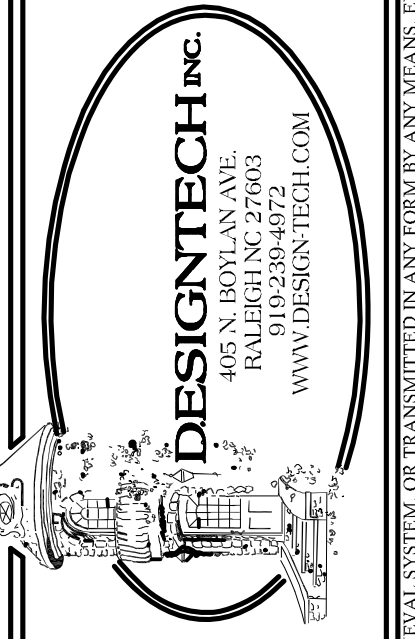
1. THE ELECTRICAL DIAGRAMS SHOWN ON THESE PLANS ARE TO BE USED AS A GUIDE. HOME OWNER AND BUILDER ARE REQUIRED TO REVIEW AND CONFIRM WITH LICENSED ELECTRICAL CONTRACTOR THESE CONTENTS PRIOR TO ROUGH-IN FOR CODE COMPLIANCE AND SPECIAL REQUIREMENTS BY THE HOME OWNER. ONCE CONSTRUCTION BEGINS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR, NOT DESIGN TECH, INCORPORATED.
2. SEE ELECTRICIAN, BUILDER, AND OWNER FOR POSSIBLE GENERATOR LOCATION, SWITCHES, RECEPTACLES, AND ATTACHMENTS. COORDINATE SIZE AND MODEL OF GENERATOR TO HANDLE LOADS ADEQUATELY.
3. UNDER-CABINET COUNTER LIGHTING FOR KITCHEN IS OPTIONAL. PLEASE CONFIRM WITH CABINET MAKER AND ELECTRICIAN.
4. ELECTRICAL FOR EXTERIOR LANDSCAPE LIGHTING AND POOL EQUIPMENT BY BUILDER AS PER CODE.
5. IT IS AN OPTION FOR EVERY TOP RECEPTACLE AT FRONT WINDOWS TO BE ON ONE SWITCH LOCATED BY OWNER/BUILDER FOR WINDOW DECORATION LIGHTING.
6. CLOSET LIGHTING TO BE CONTROLLED BY SWITCH AS SHOWN OR IN-JAMB SWITCH WHICH WOULD ILLUMINATE LIGHT WHEN DOOR IS OPENED. SOME ELECTRICAL PLANS MAY OR MAY NOT SHOW CLOSET LIGHTING. SEE OWNER AND CONFIRM WITH BUILDER.
7. EXHAUST FANS ARE REQUIRED IN BATHROOMS WITHOUT NATURAL VENTILATION. OUR PLANS WILL ALWAYS SHOW EXHAUST FAN.
8. NO HEAT LAMPS OR HEATERS MAY BE SHOWN IN THIS DRAWING. PLEASE CONFIRM WITH BUILDER FOR PRESENCE AND LOCATION.
9. ALL SLEEPING AREAS/BEDROOMS SHOULD CONTAIN SMOKE DETECTORS. SOME CORRIDORS ALSO REQUIRE SMOKE DETECTORS. PLEASE SEE LOCAL, STATE, AND FEDERAL BUILDING CODES TO CONFIRM THESE REQUIREMENTS.
10. PANEL BOX LOCATION BY ELECTRICIAN/BUILDER AS PER CODE.

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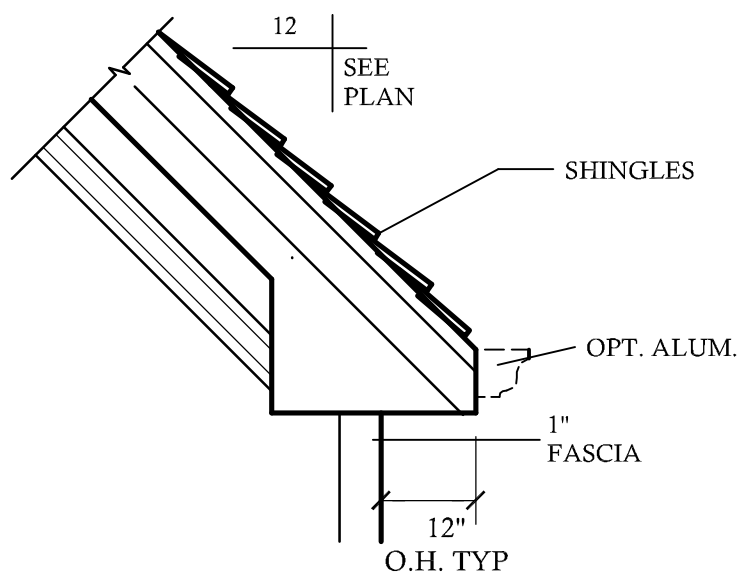
## BOLTON -GARAGE

975 PASCHALL RD.  
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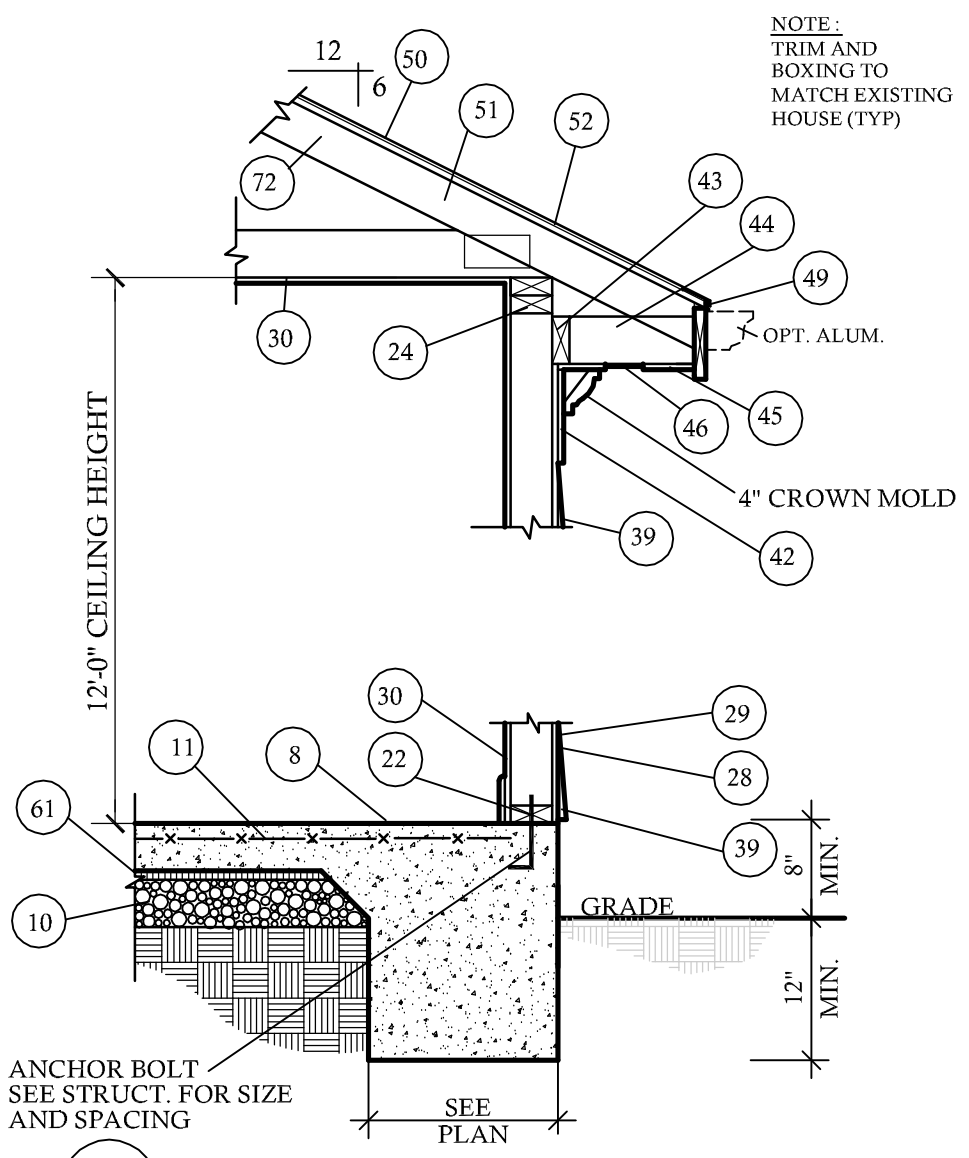
# MATERIAL REFERENCE

1. CONT. POURED CONC. FOOTING
2. 4 X 8 X 16 C.M.U.
3. 6 X 8 X 16 C.M.U.
4. 8 X 8 X 16 C.M.U.
5. 12 X 8 X 16 C.M.U.
6. BRICK
7. SOLID MASONRY CAP
8. 6" CONCRETE SLAB
9. 6 MIL VAPOR BARRIER
10. 4" STONE BASE
11. 6" X 6" 10-10 W.W.M.
12. 2 X 4 TREATED SILL PLATE
13. 2 X 6 TREATED SILL PLATE
14. 2 X 6 JOIST
15. 2 X 6 BAND
16. 16" t.j.
17. 2 X 8 BAND
18. 2 X 10 JOIST
19. 2 X 10 BAND
20. A.P.A. RATED SUB-FLOOR
21. A.P.A. RATED UNDERLAYMENT
22. 2 X 4 SOLE PLATE
23. 2 X 4 STUD WALL
24. DBL 2 X 4 TOP PLATE
25. 2 X 6 SOLE PLATE
26. 2 X 6 STUD WALL
27. DBL 2 X 6 TOP PLATE
28. EXTERIOR SHEATHING
29. SHEATHING PAPER
30. 1/2" DRY WALL
31. R-15 BATT INSULATION MIN.
32. BRICK VENEER
33. WALL TIE
34. WEEP HOLES @ 16" O.C. HORZ.
35. FLASHING AS REQ. PER CODE
36. SELF FURRING GALV METAL LATH
37. METAL BEAD
38. STUCCO PLASTER
39. SIDING AS SPECIFIED
40. TPL 2 X BLOCKING
41. WOOD FILLER
42. 1 X FRIEZE BOARD
43. NAILER
44. LOOKOUT
45. 3/8" EXT PLYWOOD SOFFIT
46. SOFFIT VENT
47. SUB FASCIA
48. 1 X FASCIA
49. METAL DRIP STRIP
50. SHINGLES AS SPECIFIED
51. 15 LB. FELT PAPER
52. A.P.A. RATED SHEATHING
53. 2 X 8 RAFTER
54. 2 X 6 RAFTER
55. R-38 BATT INSULATION MIN.
56. C.M.U. PIER
57. TREATED 2 X 6 SHIM PLATE
58. GIRDER SIZE PER PLAN
59. 2 X 2 LEDGER BOARD
60. 1/2" EXPANSION JOINT
61. 1 1/2" RIGID INSULATION (R 5.0 MIN)
62. WATERPROOFING
63. 4" PERFORATED DRAIN TILE (SLOPE TO DRAIN)
64. CRUSHED STONE W/ INFILTRATION BARRIER ABOVE
65. CONC. WASH
66. 2 X 4 RAFTER TIE BACKS PER ENG SPECS. AT MIN EVERY THIRD RAFTER
67. SEE STRUCTURAL SHEETS FOR JOIST DIRECTION
68. R-19 BATT INSULATION MIN.
69. POURED CONC. FND. WALL
70. OPT. TRIM SEE BLDG.
71. STONE VENEER
72. TRUSSES PER MANUFACTURER
73. STUCCO DRIP CAP
74. STUCCO ON CMU OR CONCRETE WALL
75. BAND W/ DRIP CAP
76. SOFFIT BED MOLD TRIM
77. 2 X 8 TREATED SILL PLATE
78. 2 X 12 JOIST
79. 2 X 12 BAND
80. 66 MIL. OF THRU WALL FLASHING

	BRICK		GRAVEL BED
	CONC. MASONRY UNIT		WELDED WIRE MESH
	CONCRETE		DETAIL NUMBER SHEET NUMBER
	STEEL		INT ELEV LETTER
	EARTH		INT ELEV NUMBER SHEET NUMBER
	BATT INSULATION		SECTION NUMBER SHEET NUMBER
	RIGID INSULATION		ROOF PITCH RATIO
	STUCCO		ROOM NUMBER
	WOOD		
	STONE		



**2** BOXING RETURN DETAIL @ 3/4"=1'-0"  
PROPERTY OF DESIGN TECH INC.



**1** ONE STORY SLAB ON GRADE W/ SIDING @ 3/4"=1'-0"  
PROPERTY OF DESIGN TECH INC.  
DESIGNED FOR 100 MPH WIND ZONES

### ROOF VENTILATING REQUIREMENTS

598 SQ. FT. (144) = 574.08 SQ. IN. OF TOTAL ROOF VENTILATION REQ'D  
150

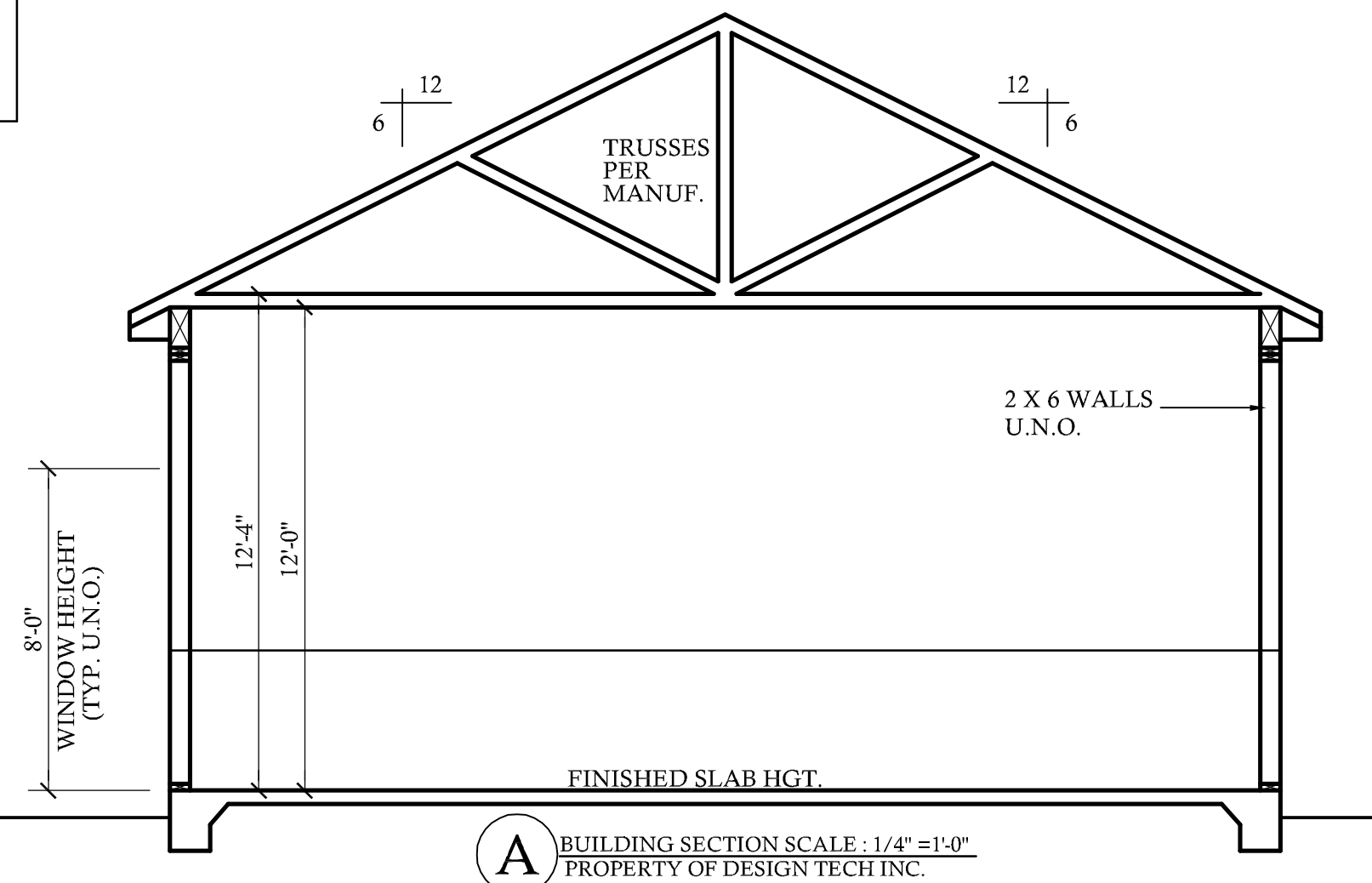
INLET  
574.08 (.5) = 287.04 SQ. IN. INLET REQUIRED

OUTLET  
574.08 (.5) = 287.04 SQ. IN. OUTLET REQUIRED

NOTE: FIGURE BASED ON SECTION R-806 OF THE 2012 IRC.

TOTAL NET FREE VENTILATING AREA IS PERMITTED TO BE REDUCED TO 1 TO 300:

- 1 PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE R806.2 OF THE 2012 IRC. FOR PROPER LOCATION.
- 2 WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING



**A** BUILDING SECTION SCALE: 1/4"=1'-0"  
PROPERTY OF DESIGN TECH INC.

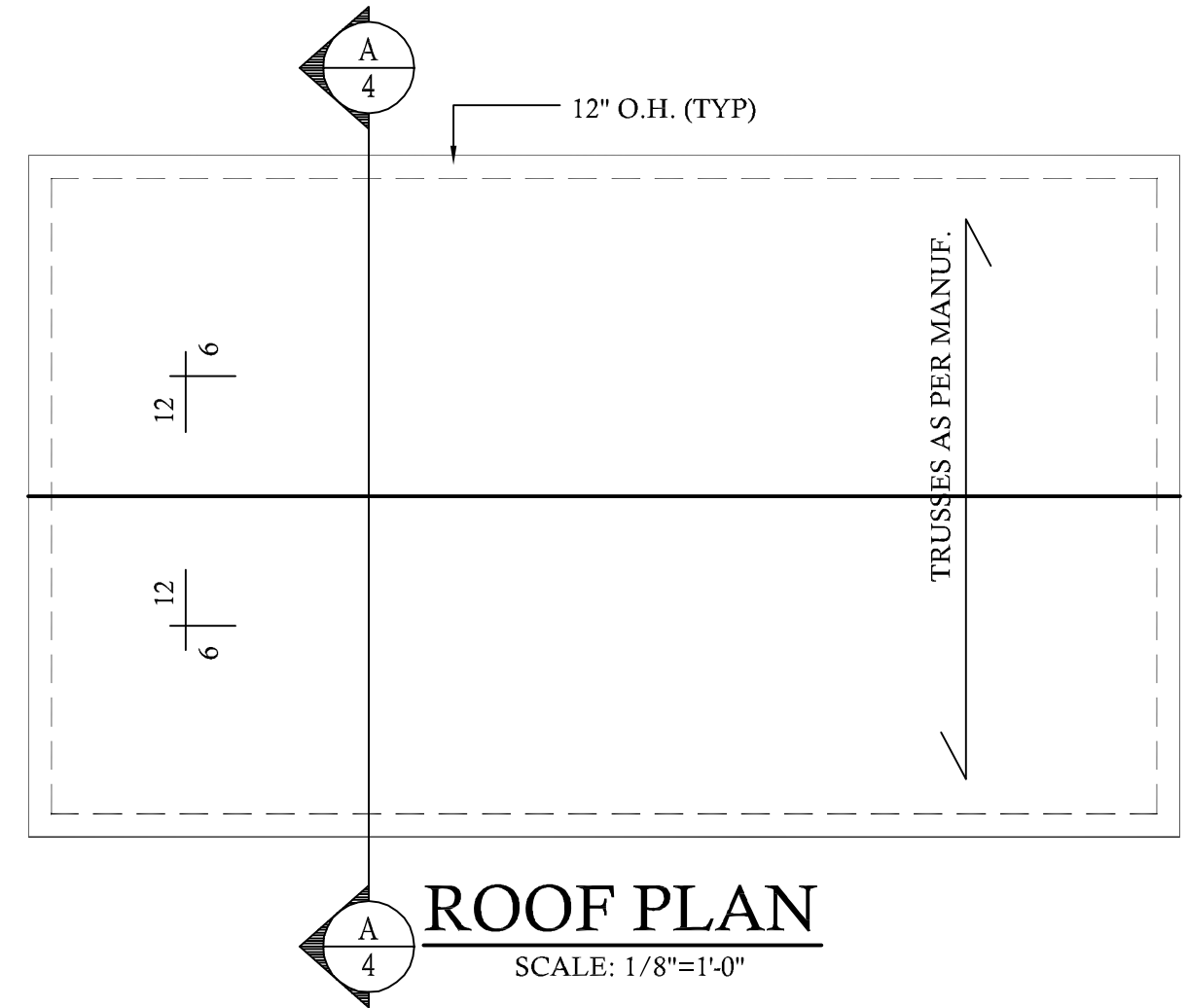
PLANS DESIGNED TO THE 2012 NORTH CAROLINA RESIDENTIAL CODE  
HOUSE DESIGNED FOR 100 MPH 3 SECOND GUST (80 FASTEST MILE), EXPOSURE B  
ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF ALL PLATES SPLICES  
ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM  
7" INTO MASONRY OR CONCRETE

MEAN ROOF HEIGHT = < 30'-0"

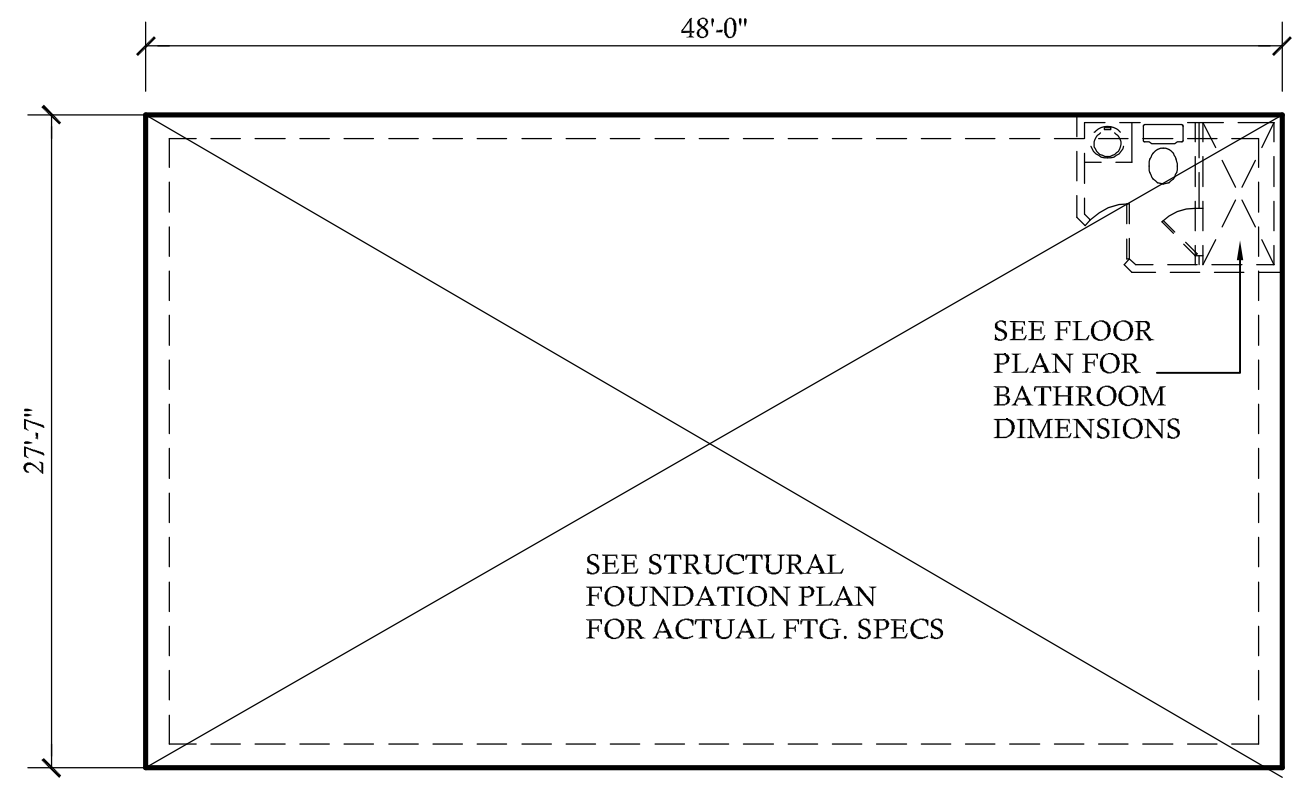
COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF HEIGHT	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

MINIMUM VALUES FOR ENERGY COMPLIANCE:  
ZONE 4 MAX GLAZING U-FACTOR = 0.35 CEILING R-38 WALLS R-15 FLOORS R-19



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



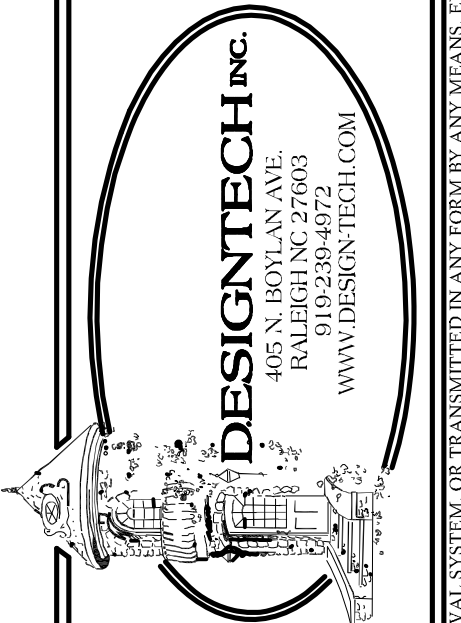
**FOUNDATION PLAN**  
SCALE: 1/8"=1'-0"

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